

DORSETT PLACE

11737 DORSETT RD
MARYLAND HEIGHTS, MO 63043

SITE IMPROVEMENT PLANS



PERTINENT DATA

OWNER = OAKLINE STUDIO
 SITE ADDRESS = 11737 DORSETT ROAD
 MARYLAND HEIGHTS, MO 63043
 SITE ACREAGE = ±2.61 AC
 DISTURBED LAND = ±2.61 AC
 EXISTING ZONING = M-1
 OVERLAY DISTRICT = OD-C
 PROPOSED ZONING = M-1
 LOCATOR NUMBER = 14N440781
 SCHOOL DISTRICT = PATTONVILLE
 WATERSHED = CREVE COEUR CREEK
 FEMA MAP PANEL = 29189C0183K, DATE: FEBRUARY 4, 2015

UTILITIES

WATER SERVICE = MISSOURI AMERICAN WATER COMPANY (WEST DISTRICT)
 1050 RESEARCH BLVD.
 ST. LOUIS, MO 63132
 CONTACT: ROGER TIMMERMEIER
 PH. (314) 996-2464

SEWER DISTRICT = METROPOLITAN ST. LOUIS SEWER DISTRICT
 2350 MARKET ST.
 ST. LOUIS, MO 63103
 CONTACT: MSD PERMIT OFFICE
 PH. (314) 768-6287

CABLE SERVICE = CHARTER COMMUNICATIONS
 101 NORTHWEST PLAZA
 ST. ANN, MO 63074
 CONTACT: DAVID HOOTSSELLE
 PH. (314) 275-0025

PHONE SERVICE = AT & T
 1010 PINE
 20E-K-02
 ST. LOUIS, MO 63101
 CONTACT: CHERYL GISSLER
 PH. (314) 225-3919

FIRE DISTRICT = ROBERTSON FIRE PROTECTION DISTRICT
 12641 MISSOURI BOTTOM ROAD
 HAZELWOOD, MO 63042
 CONTACT: FIRE MARSHAL TODD PHILLIPS
 PH. (314) 291-6671

ELECTRIC SERVICE = AMEREN-UE ELECTRIC COMPANY
 DORSETT DISTRICT
 12121 DORSETT RD.
 MARYLAND HEIGHTS, MO 63043
 PH. (314) 344-9575

GAS SERVICE = SPIRE
 700 MARKET ST.
 ST. LOUIS, MO 63101
 CONTACT: KELLI GRAHAM
 PH. (314) 575-0155

INDEX

NO	REVISION DESCRIPTION	REVISIONS								
		1	2	3	4	5	6	7	8	9
C1.0	COVER SHEET									
C2.0	GENERAL NOTES SHEET									
C3.0	DEMOLITION PLAN									
C4.0	SITE & HORIZONTAL CONTROL PLAN									
C4.1	SITE DETAILS									
C5.0	STORM AND GRADING PLAN									
C6.0	UTILITY PLAN									
C9.0	FORCE MAIN PLAN									
L1.0	LANDSCAPE PLAN									
L1.1	TREE MITIGATION PLAN									

LEGEND

EXISTING		PROPOSED
460 459 +620.15	CONTOURS	460 459 621.25 (TOP OF CURB) (FIRST PRODUCE)
~ ~ ~	SPOT GRADE	~ ~ ~
~ ~ ~	TREE LINE	~ ~ ~
⊙	TREE	⊙
⊙	BUSH	⊙
⊙	STORM MANHOLE	⊙
⊙	AREA INLET	⊙
⊙	CURB INLET	⊙
⊙	GRATED INLET	⊙
⊙	FLARED END SECTION	⊙
12" RCP	STORM SEWER	12" RCP
⊙	GRATED MANHOLE	⊙
⊙	STORM DESIGNATOR	⊙
⊙	DOWNSPOUT	⊙
⊙	DRAINAGE PIPE	⊙
⊙	SWALE/SLOPE INDICATOR	⊙
⊙	SANITARY MANHOLE	⊙
8" VCP	SANITARY SEWER	8" VCP
⊙	CLEAN OUT	⊙
⊙	SANITARY DESIGNATOR	⊙
⊙	UTILITY POLE	⊙
⊙	GUIDE WIRE	⊙
⊙	OVERHEAD UTILITY	⊙
UE	UNDERGROUND ELECTRIC	UE
⊙	ELECTRIC MARKER	⊙
⊙	ELECTRIC METER	⊙
⊙	ELECTRIC BOX	⊙
⊙	ELECTRIC PULL BOX	⊙
⊙	ELECTRIC TRANSFORMER	⊙
⊙	ELECTRIC MANHOLE	⊙
⊙	UNDERGROUND TELEPHONE	⊙
⊙	FIBER OPTIC MARKER	⊙
⊙	CABLE MARKER	⊙
⊙	GAS LINE	⊙
⊙	GAS VALVE	⊙
⊙	GAS METER	⊙
⊙	GAS MARKER	⊙
⊙	WATER LINE	⊙
⊙	WATER VALVE	⊙
⊙	WATER METER	⊙
⊙	FIRE HYDRANT	⊙
⊙	SIGN	⊙
⊙	MAIL BOX	⊙
⊙	TEST HOLE	⊙
⊙	LIGHT STANDARD	⊙
⊙	FENCE	⊙
⊙	BOLLARD	⊙
⊙	RETAINING WALL	⊙
⊙	CONCRETE PAVEMENT	⊙
⊙	SILTATION FENCE	⊙
⊙	AIR CONDITIONER	⊙
⊙	FLAG POLE	⊙
⊙	MONITORING WELL	⊙
⊙	PARKING METER	⊙
⊙	PLANTER	⊙
⊙	SPRINKLER CONTROL BOX	⊙
⊙	SPRINKLER	⊙
⊙	SPRINKLER VALVE	⊙
⊙	TRAFFIC CONTROL BOX	⊙
⊙	TRAFFIC POLE	⊙
⊙	YARD LIGHT	⊙
⊙	GUARD RAIL	⊙
⊙	PROPERTY LINE	⊙
⊙	EASEMENT	⊙
⊙	SETBACK	⊙
⊙	INLET PROTECTION	⊙
⊙	WATTLE	⊙
⊙	CHECK DAM	⊙
⊙	USE IN PLACE	(UIP)
⊙	TO BE REMOVED	(TBR)
⊙	ADJUST TO GRADE	(ATG)
⊙	TO BE REMOVED & RELOCATED	(TBR&R)
⊙	TYPICAL	(TYP)
⊙	NOT TO SCALE	N.T.S.
⊙	HIGH POINT IN GRADE	HP
⊙	LOW POINT IN GRADE	LP
⊙	TOP OF WALL	TW
⊙	BOTTOM OF WALL	BW
⊙	NOT IN CONTRACT	(NIC)

SITE BENCHMARK INFORMATION

WESTERN TOP OF MSD CURB INLET STRUCTURE NO. 14N1-034D.

UTILITY INFORMATION:

UTILITIES SHOWN HAVE BEEN TAKEN FROM AVAILABLE SURVEYS, UTILITY COMPANY MAPS AND PHYSICAL PROPERTY INSPECTION. THE LOCATIONS AND FACILITIES SHALL BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE ADDITIONAL UTILITIES THAT HAVE NOT BEEN SHOWN ON THIS SURVEY. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



CALL 1-800-DIG-RITE (MISSOURI ONE CALL) TO HAVE LOCATIONS MARKED IN THE FIELD (SUBSCRIBING UTILITIES REQUIRE 48 HOURS NOTICE PRIOR TO CONSTRUCTION).

USER: Austin Esterhild TAB: Cover
 DATE: September 8, 2023 11:16:01 AM
 DRAWING: s:\0085\Jobs\2022\22-0125\CADD\C-Plan\Pol\Sheets\0_Plan_COVER_SPEC_22-0125.dwg

NO	REVISION DESCRIPTION	DATE
1	GROUND REVISIONS	09/08/2023

DEVELOPER/OWNER:
OAKLINE STUDIO
 1701 BORMAN ROAD, SUITE 200
 MARYLAND HEIGHTS, MO 63146
 (314) 557-2906

THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON HAS ASSUMED RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION AND DATA AS SHOWN ON THIS DRAWING. THE PROFESSIONAL HAS REVIEWED ALL INSTRUMENTS AND SPECIFICATIONS, ESTIMATES, REPORTS, OR OTHER DOCUMENTS OF INSTRUMENTS NOT SPECIALLY PREPARED BY HIMSELF OR HIS FIRM. THE PROFESSIONAL HAS REVIEWED ALL INSTRUMENTS AND SPECIFICATIONS OF THE PROJECT TO WHICH THIS DRAWING RELATES.

DORSETT PLACE
 11737 DORSETT ROAD
 MARYLAND HEIGHTS, MO 63043

COVER SHEET

ST. LOUIS
 1155 1/2 S. 1st Street
 Suite 100
 St. Louis, MO 63103
 314.984.9887 tel/
 www.coile.com

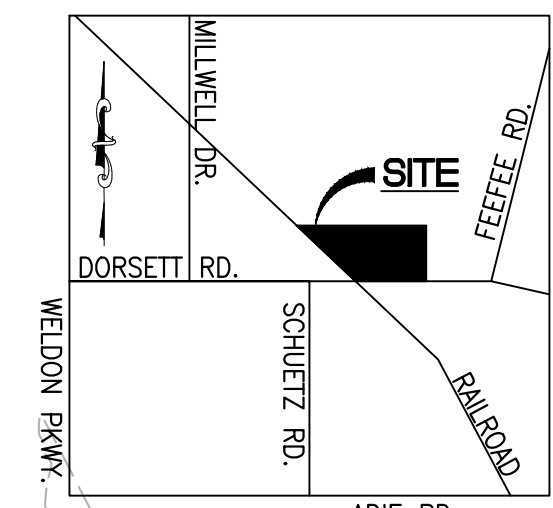
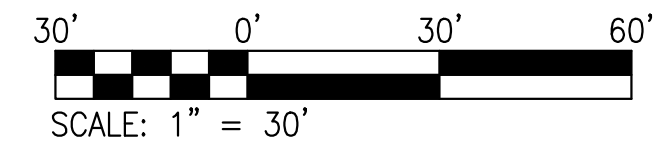
COILE
 CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE
 Civil & Landscape Architects, Inc. is a Missouri Corporation. Civil Design Group, Inc. is a Missouri & Texas limited liability company.

DESIGN/CALC BY: J.C.S.
 DRAWN BY: J.C.S.
 CHECKED BY: J.P.L.
 DRAWING SCALE: AS SHOWN

DATE: 09/08/2023
 Job Number: 22-0125
 Sheet Number: C1.0

MSD P. NO. 22CNCBP-00067 BASE MAP: 29189C0183K HT#7767

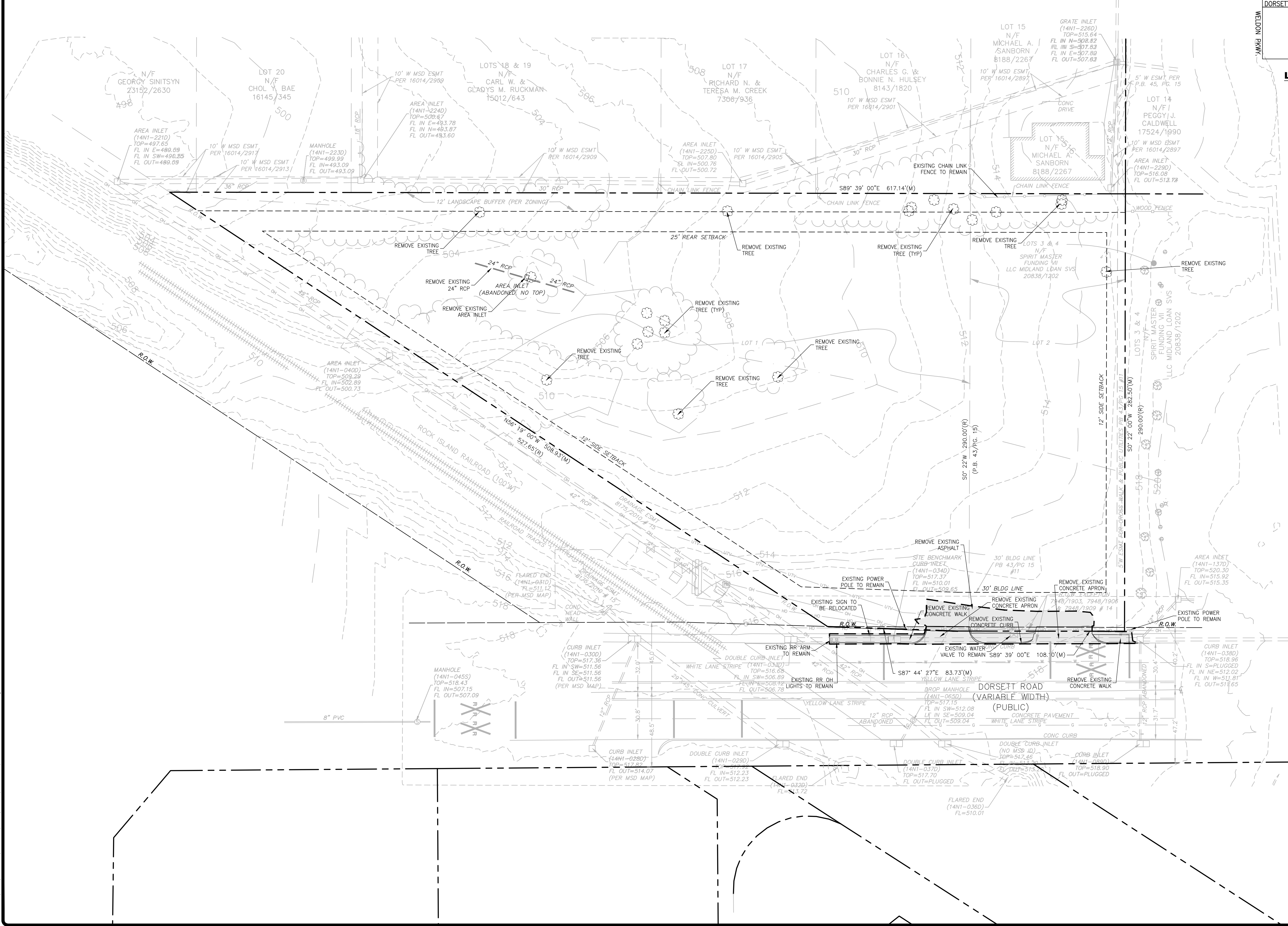
USER: Aulifi, Esterhodi, TAB; Demo
 DATE: September 8, 2023 - 11:16:11 AM
 DRAWING: s:\0095\Jobs\2022\22-0125\CADD\Plan\PolSheets\0_Plan_LRD_22-0125.dwg



LOCATION MAP
N.T.S.

LEGEND

- CURB/CONCRETE/ASPHALT TO BE REMOVED; EXISTING ENTRANCE TO BE REMOVED AND ROW RESTORED PER ST. LOUIS COUNTY STANDARDS.
- SEE TREE REMOVAL PLAN AND LANDSCAPE PLANS FOR DETAILS



NO	REVISION DESCRIPTION
1	09/08/2023

OAKLINE STUDIO
 1701 BORMAN ROAD SUITE 200
 MARYLAND HEIGHTS, MO 63146
 (314) 551-2906

DEVELOPER/OWNER:
DORSETT PLACE
 11737 DORSETT ROAD
 MARYLAND HEIGHTS, MO 63043

THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON HAS REVIEWED THIS PLAN FOR CONFORMANCE WITH THE ST. LOUIS COUNTY PLANS AND SPECIFICATIONS. ESTIMATES, REPORTS, OR OTHER DOCUMENTS OR INSTRUMENTS NOT SPECIFICALLY REFERENCED ON THIS PLAN ARE NOT PART OF THESE RECORDS. THE PARTS OF THE PROJECT TO WHICH THIS PLAN REFERS ARE:

DEMOLITION PLAN

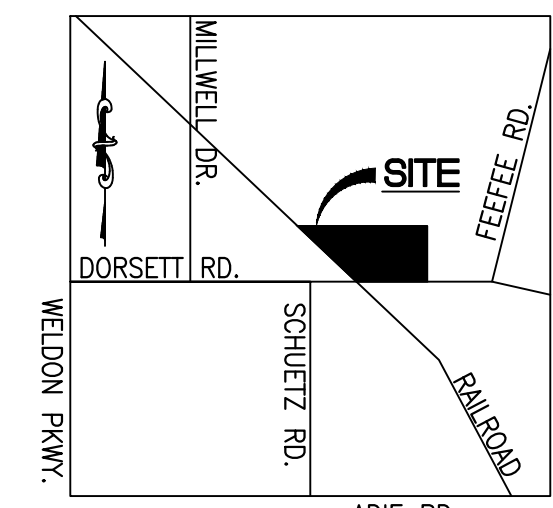
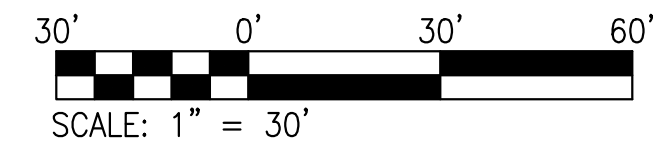
ST. LOUIS
 1155 1/2 S. 1st Street
 Suite 100
 St. Louis, MO 63103
 314.984.9887 tel
 www.coilestl.com

COILE
 CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE
 Coile & Associates, Inc. is a Missouri Government Sub. Coile Design Group, Inc. is a Missouri & Texas Limited Liability Partnership.

DESIGN/CALC BY	J.C.S
DRAWN BY	J.C.S
CHECKED BY	J.P.L
DRAWING SCALE	AS SHOWN
DATE	09/08/2023
Job Number	22-0125
Sheet Number	C3.0

MSD P. NO. 22CNCBPB-00067 BASE MAP: 29189C00183K HT#7767

USER: Austin, Eternodi, TAB: C4.0, SITE
 DATE: September 8, 2023 - 11:16:24 AM
 DRAWING: s:\0085\Jobs\2022\22-0125_C4.0\Plan\Site_22-0125.dwg



LOCATION MAP
N.T.S.

PARKING CALCULATIONS

PARKING REQUIREMENTS:

OFFICE SPACE:	4 SPACES PER 1,000 S.F. FLOOR AREA
WAREHOUSE:	0.5 SPACES PER 1,000 S.F. FLOOR AREA

PARKING CALCULATIONS:

OFFICE PARKING:	5,267 S.F. X 4 SPACES/1,000 S.F.	= 21 SPACES
WAREHOUSE PARKING:	20,375 S.F. X 0.5 SPACES/1,000 S.F.	= 11 SPACES
TOTAL PARKING		= 32 SPACES

PARKING PROVIDED:

38 STANDARD SPACES
3 HANDICAP ACCESSIBLE SPACES

NOTES

- ALL PROPOSED IMPROVEMENTS SHALL BE COORDINATED WITH ST. LOUIS COUNTY PROJECT AR-1840.
- ALL SIDEWALKS TO BE CONSTRUCTED TO CURRENT ST. LOUIS COUNTY ADA STANDARDS.
- ANY ENTITY THAT PERFORMS WORK ON ST. LOUIS COUNTY MAINTAINED PROPERTY SHALL PROVIDE THE COUNTY WITH A CERTIFICATE OF INSURANCE EVIDENCING GENERAL LIABILITY COVERAGE (BODILY INJURY AND PROPERTY DAMAGE) IN THE AMOUNTS SPECIFIED AS THE LIMITS OF LIABILITY SET BY THE STATE FOR PUBLIC ENTITIES. SUCH CERTIFICATE SHALL INCLUDE "ST. LOUIS COUNTY" AS AN ADDITIONAL INSURED AND SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF ANY PERMIT. CERTIFICATE SHALL PROVIDE FOR A 30-DAY POLICY CANCELLATION NOTICE TO ST. LOUIS COUNTY. UPON REQUEST, THE COUNTY WILL PROVIDE THE SPECIFIC AMOUNTS FOR BOTH PER PERSON AND PER OCCURRENCE LIMITS.
- ALL ABOVE-GROUND UTILITIES OR OTHER POTENTIAL OBSTRUCTIONS WITHIN THE STLC ROAD ROW, SHALL HAVE A MINIMUM SETBACK, AS DIRECTED BY THE STLC DEPARTMENT OF TRANSPORTATION, AS PRESCRIBED IN SECTION 5.10 OF THE STLC DESIGN CRITERIA MANUAL + ROADSIDE DESIGN REQUIREMENTS.
- NO SLOPERS SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL) WITHIN STLC ROW UNLESS JUSTIFIED BY A GEOTECHNICAL REPORT, WHICH HAS BEEN APPROVED BY STLC, AND DESIGNED IN FULL COMPLIANCE WITH ROADSIDE SAFETY STANDARDS.
- THE PERMIT PROCESS REQUIRES IMPROVEMENT PLAN SUBMITTAL TO THE DEPARTMENT OF TRANSPORTATION.

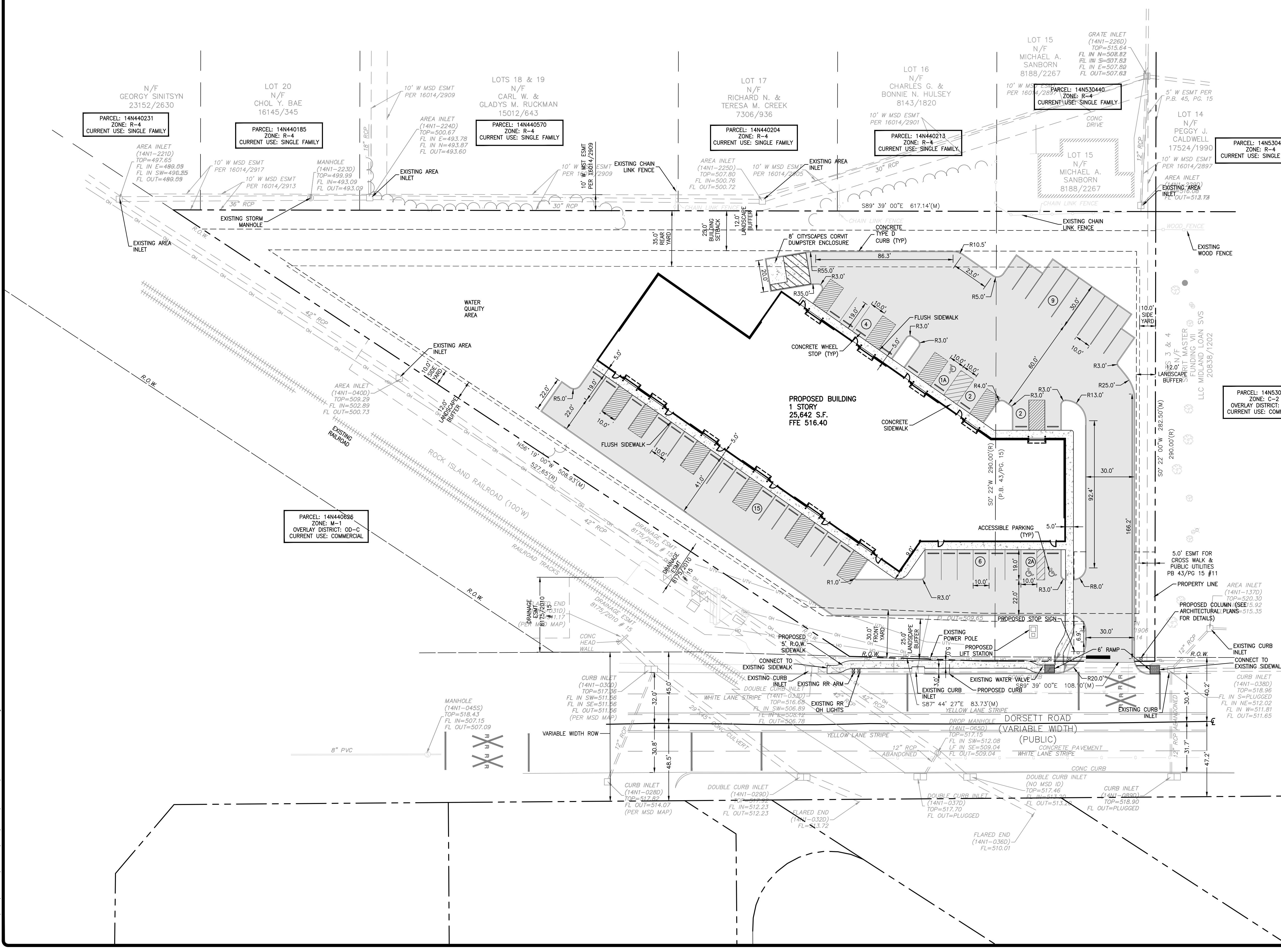
OAKLINE STUDIO
 1701 BORMAN ROAD, SUITE 200
 MARYLAND HEIGHTS, MO 63146
 (314) 551-2906

DORSETT PLACE
 11737 DORSETT ROAD
 MARYLAND HEIGHTS, MO 63043

ST. LOUIS
 401 S. 16th Street
 (1411-1370)
 ST. LOUIS, MO 63103
 314.984.9887 /
 www.coler.com

COLE
 CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE
 1000 N. 1st Street, Suite 1000, St. Louis, MO 63102

DESIGN/CALC BY: J.C.S.
 DRAWN BY: J.C.S.
 CHECKED BY: J.P.L.
 DRAWING SCALE: AS SHOWN
 DATE: 09/08/2023
 Job Number: 22-0125
 Sheet Number: C4.0

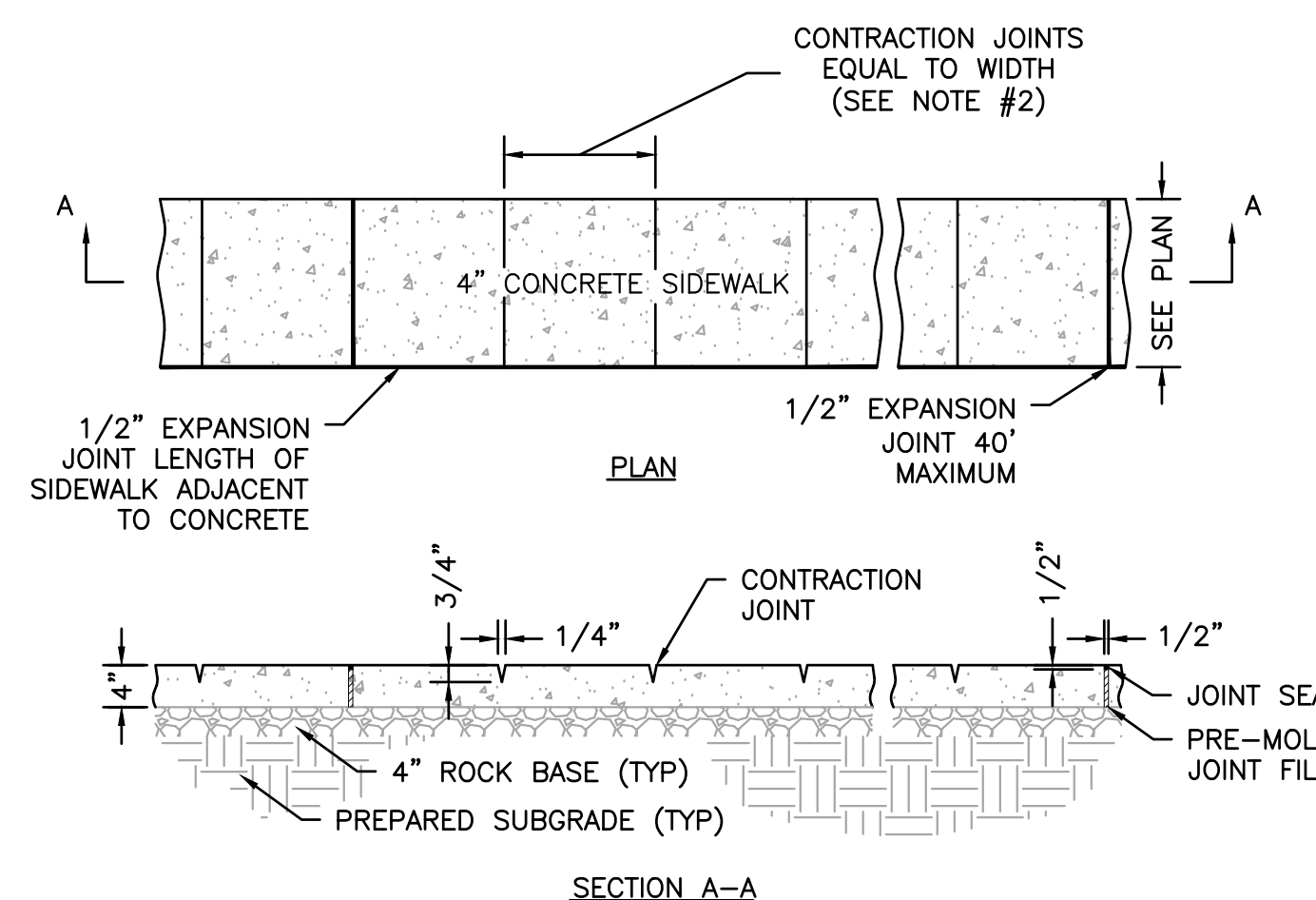


PARCEL: 14N440886
 ZONE: M-1
 OVERLAY DISTRICT: OD-C
 CURRENT USE: COMMERCIAL

PARCEL: 14N530808
 ZONE: C-2
 OVERLAY DISTRICT: OD-C
 CURRENT USE: COMMERCIAL

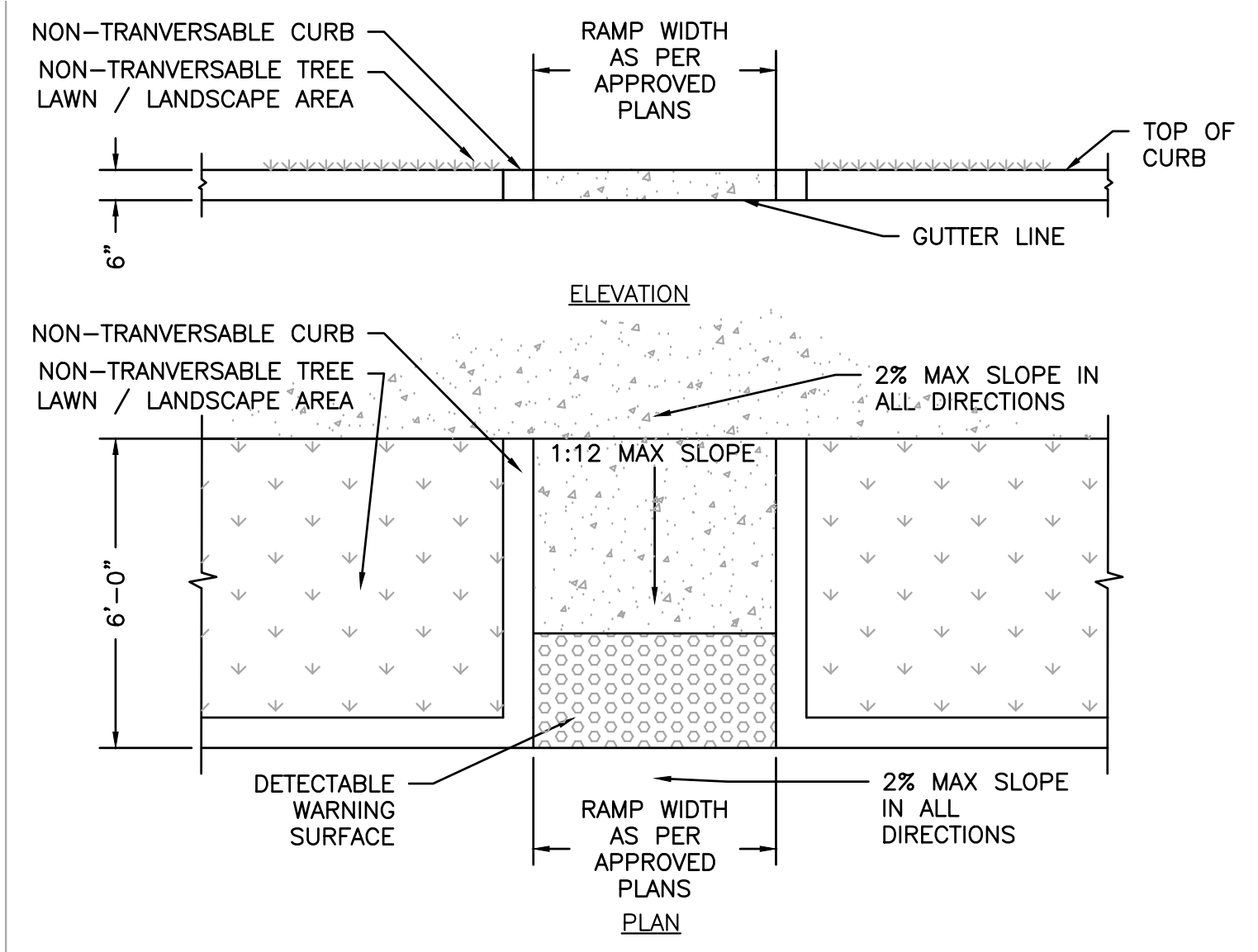
PROPOSED BUILDING
 1 STORY
 25,642 S.F.
 FFE 516.40

MSD P.N.O. 22CNCBP-00067 BASE MAP: 29189C0183K HT#7767



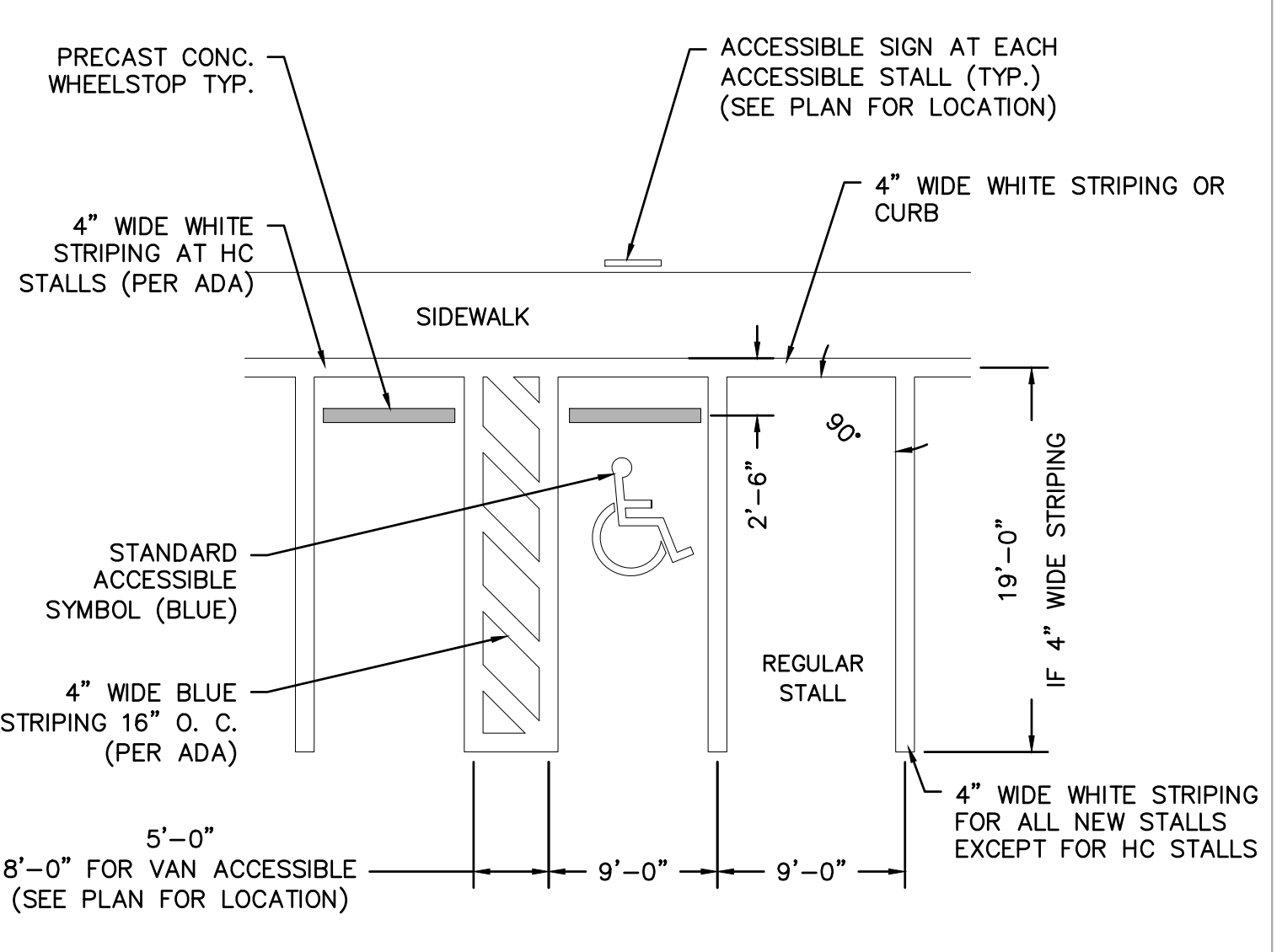
NOTES:
 1. CONTRACTOR TO COORDINATE WITH ARCHITECTURAL SITE PLANS FOR DETAILS OF ALL INTERIOR WALKS AND HARDSCAPE AREAS.
 2. DETAIL IS INTENDED FOR SIDEWALK WIDTHS OF 4 TO 6 FEET. CONTRACTOR SHALL COORDINATE WITH ARCHITECT OR ENGINEER FOR ANY SIDEWALK WIDTHS THAT EXCEED 6 FEET.

1 CONCRETE SIDEWALK DETAIL
 SCALE: N.T.S. REF. DWG. C4.0

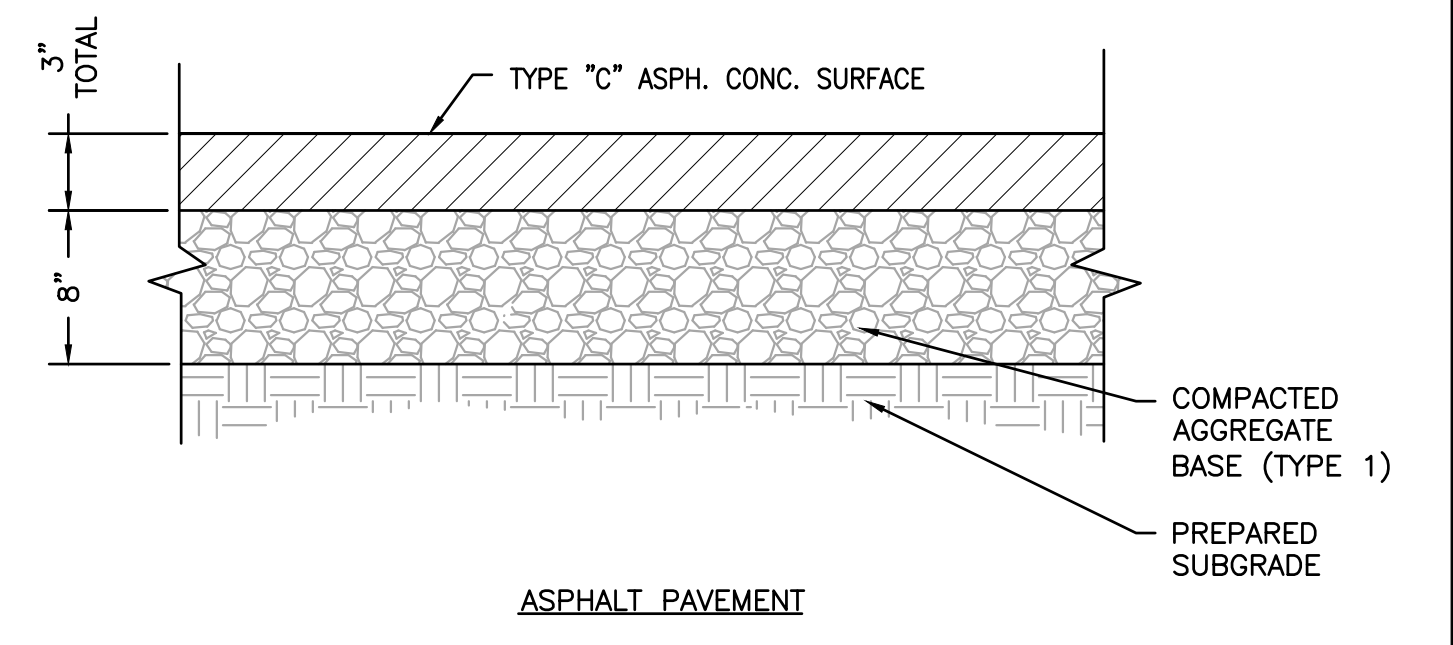


NOTE: MAINTAIN 4" SIDEWALK THICKNESS IN DEPRESSED AREA.

2 ACCESSIBLE RAMP WITH NON-TRANVERSABLE CURBS DETAIL
 SCALE: N.T.S. REF. DWG. C4.0

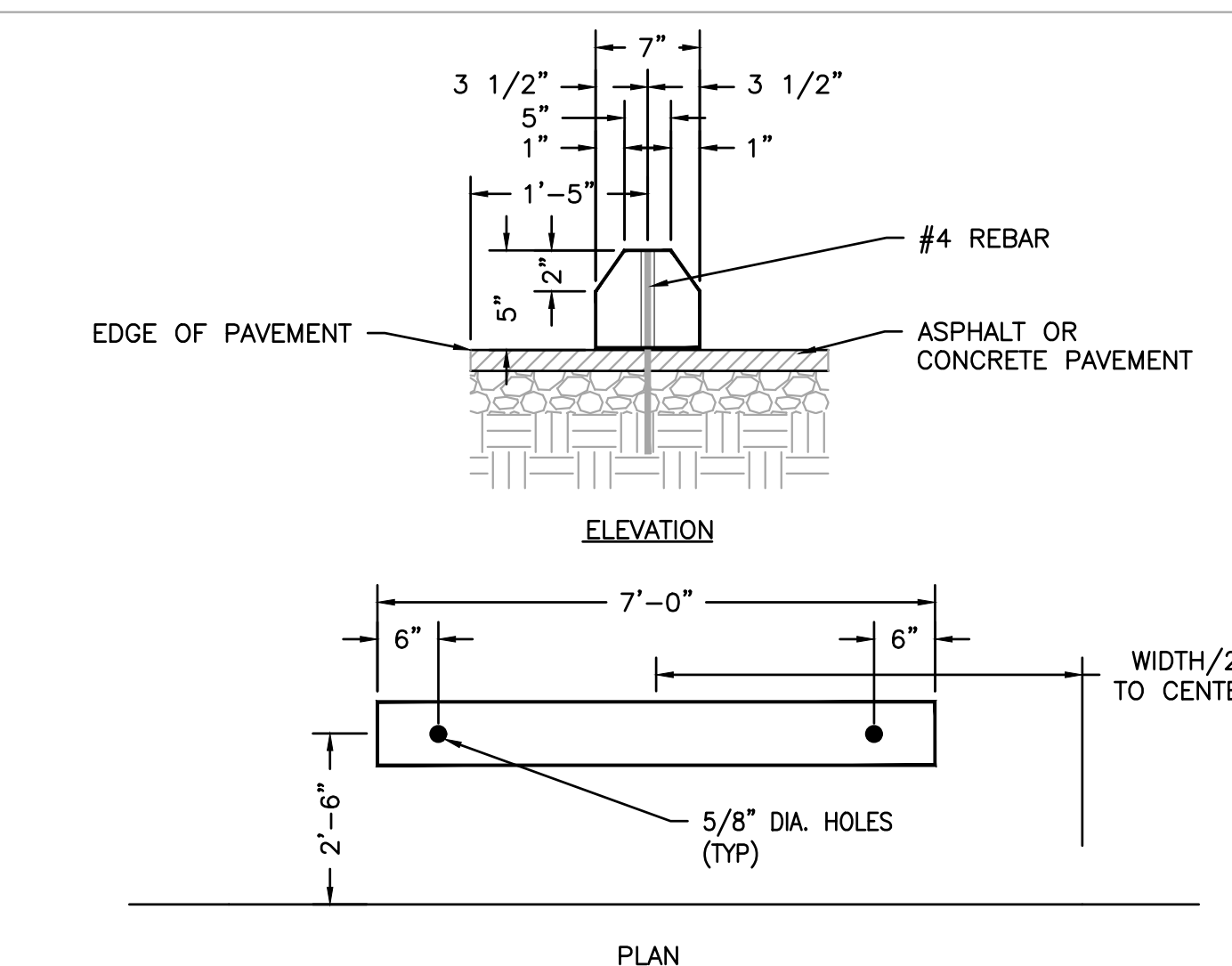


3 90 DEGREE ACCESSIBLE PARKING DETAIL
 SCALE: N.T.S. REF. DWG. C4.0



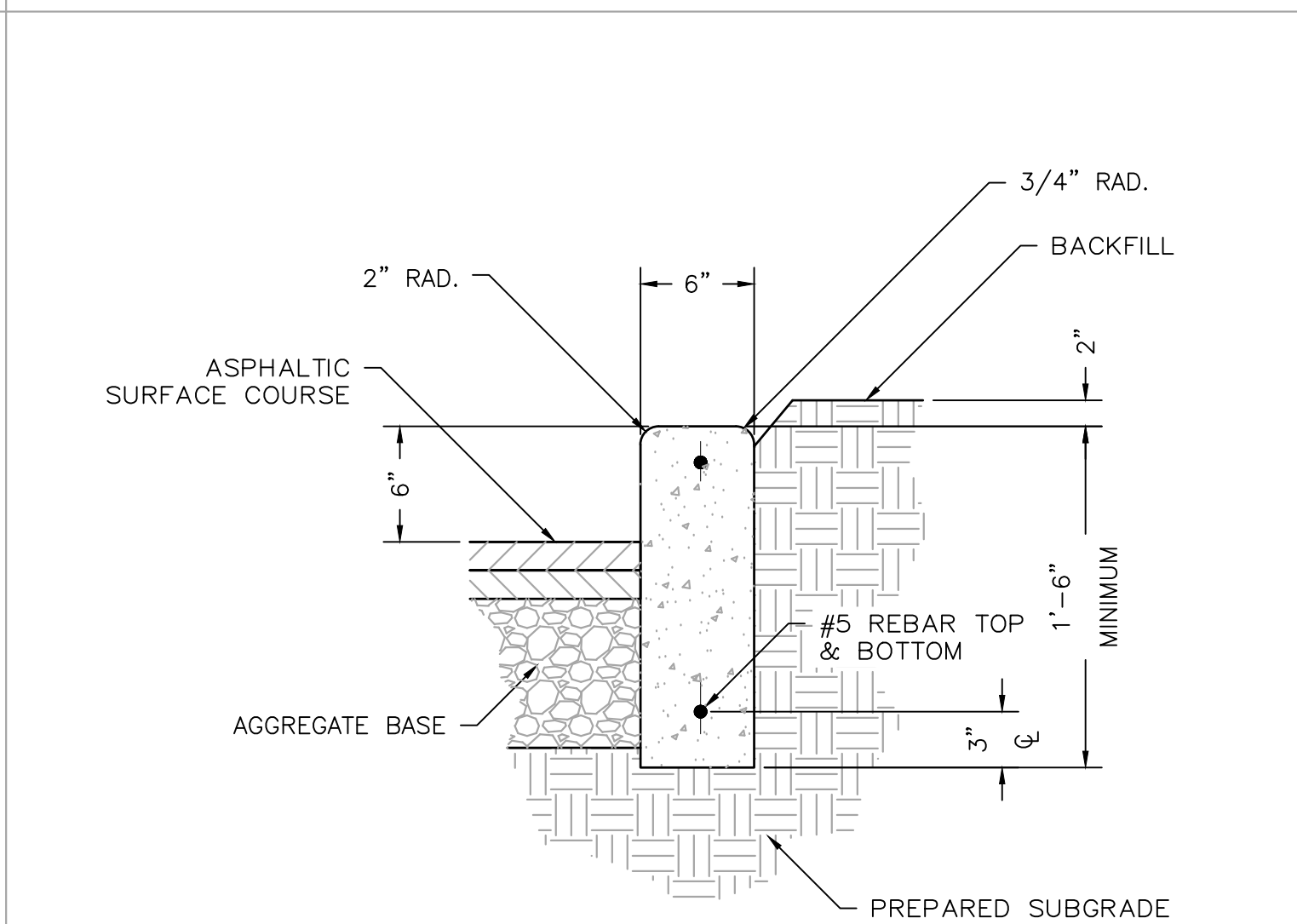
NOTE: PAVEMENT DETAILS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY FINAL PAVEMENT REQUIREMENTS WITH GEOTECH REPORT AND/OR OWNER.

4 ASPHALT PAVEMENT (PARKING AREAS)
 SCALE: N.T.S. REF. DWG. C4.0

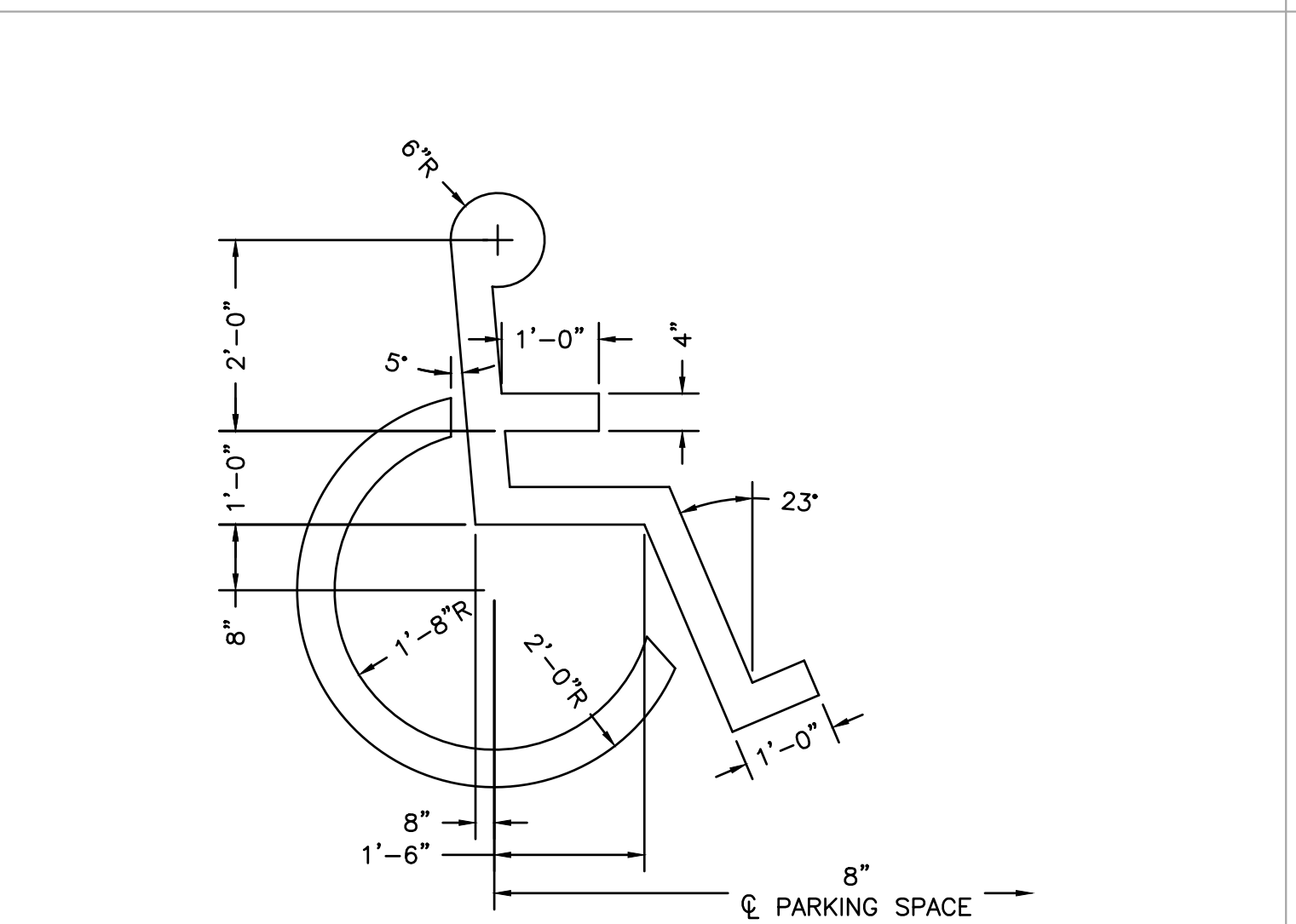


NOTES:
 1. SIMILAR SHAPE MAY BE USED UPON APPROVAL OF ENGINEER.
 2. HOLD IN PLACE WITH 18" LONG #4 REBARS PLACED IN THE HOLES AT EACH END AND DRIVEN FLUSH WITH THE TOP.

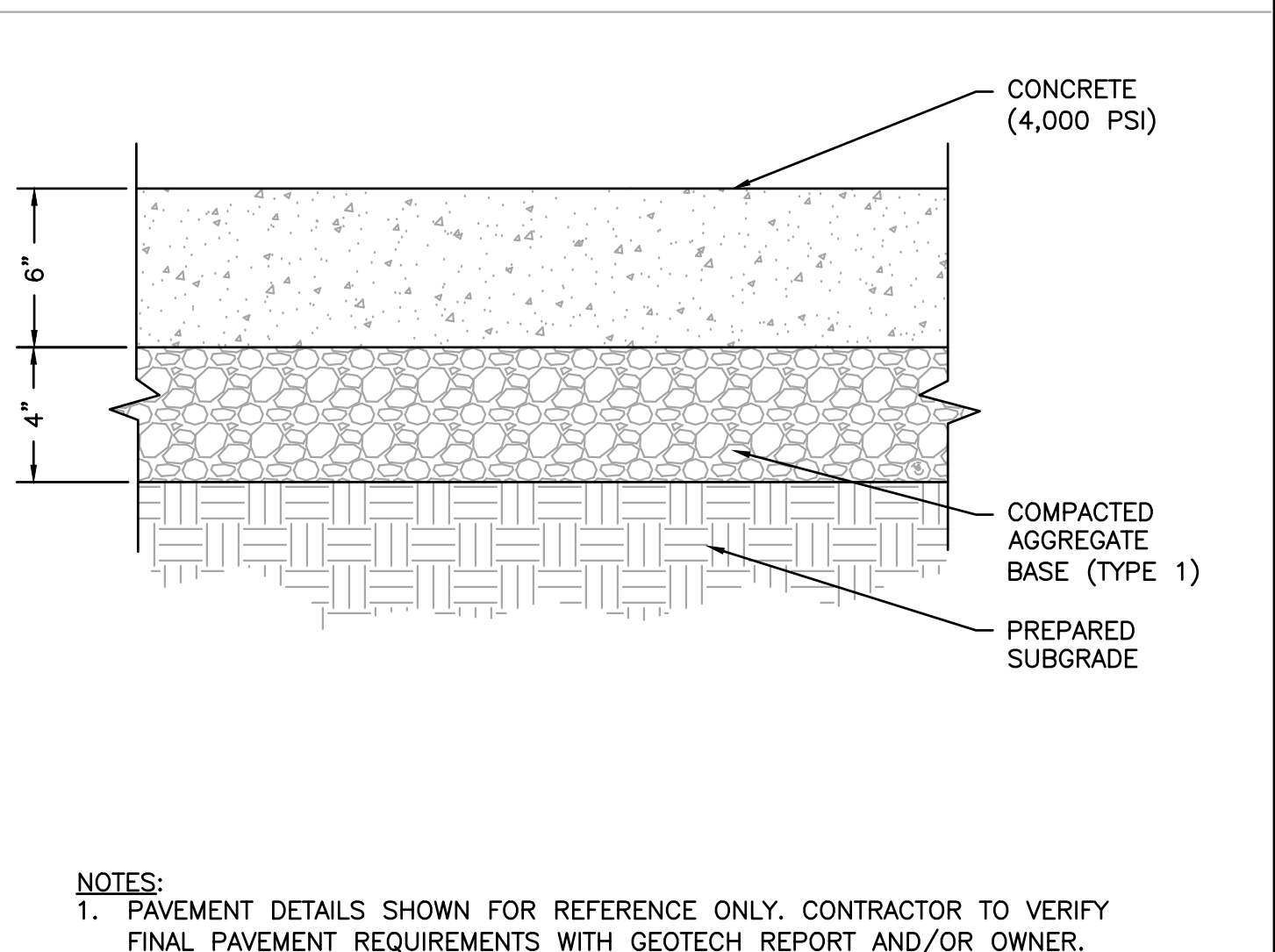
8 WHEEL STOP DETAIL
 SCALE: N.T.S. REF. DWG. C4.0



7 VERTICAL CONCRETE CURB DETAIL
 SCALE: N.T.S. REF. DWG. C4.0



6 ACCESSIBLE PARKING SYMBOL DETAIL
 SCALE: N.T.S. REF. DWG. C4.0



NOTES:
 1. PAVEMENT DETAILS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY FINAL PAVEMENT REQUIREMENTS WITH GEOTECH REPORT AND/OR OWNER.
 2. CONTRACTOR TO INSTALL CONCRETE PAVEMENT JOINTS PER THE AMERICAN CONCRETE INSTITUTES "GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS"

5 CONCRETE PAVEMENT DETAIL
 SCALE: N.T.S. REF. DWG. C4.0

USER: Austin Esterhodi TAB: SITE DETAILS
 DATE: September 8, 2023 11:16:32 AM
 DRAWING: s:\0085\Jobs\2022\22-0125\CADD\Plan\PoolSheets\0_Plan\DETAIL_22-0125.dwg

NO	REVISION DESCRIPTION	DATE
1	GROUND REVISIONS	09/08/2023

DEVELOPER/OWNER:
OAKLINE STUDIO
 1701 BORMAN ROAD SUITE 200
 MARYLAND HEIGHTS, MO 63146
 (314) 551-2906

THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON HAS ASSURED THAT THIS DRAWING WAS PREPARED BY AN ENGINEER OR ARCHITECT IN ACCORDANCE WITH THE PROFESSIONAL SEAL ACT AND THE PROFESSIONAL SEAL ACT AMENDMENTS. ESTIMATES, REPORTS, OR OTHER DOCUMENTS OR INSTRUMENTS NOT SPECIFICALLY REFERRED TO IN THIS DRAWING ARE NOT PART OF THESE PLANS. FOR ANY PART OF THE PROJECT TO WHICH THIS DRAWING REFERS, THE USER SHALL REFER TO THE ORIGINAL INSTRUMENTS FOR THE COMPLETE SET OF REQUIREMENTS.

DORSETT PLACE
 11737 DORSETT ROAD
 MARYLAND HEIGHTS, MO 63043

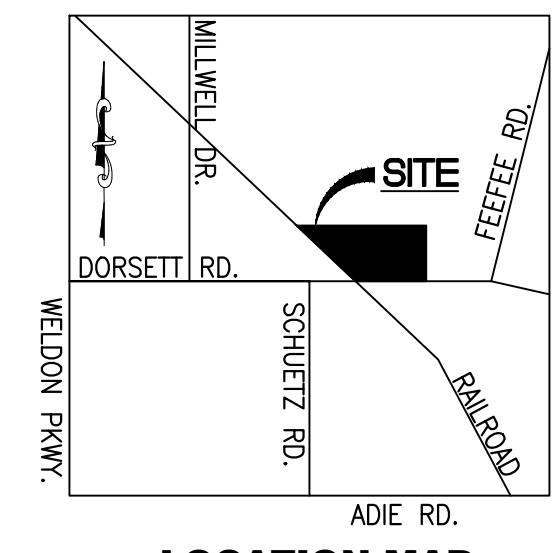
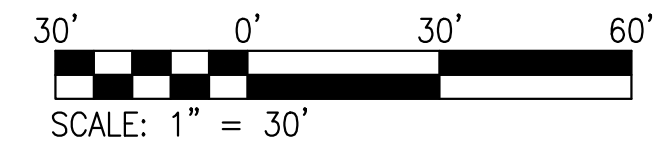
COLE
 CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE
 1115 1/2 South Street
 Suite 100
 St. Louis, MO 63103
 314.984.9887 tel /
 www.colestl.com

DESIGN/CALC BY
 J.C.S.
 DRAWN BY
 J.C.S.
 CHECKED BY
 J.P.L.
 DRAWING SCALE
 AS SHOWN
 DATE
 09/08/2023

MSD P. NO. 22CNCPB-00067 BASE MAP: 29189C01B3K HT#7767

Job Number
22-0125
 Sheet Number
C4.1

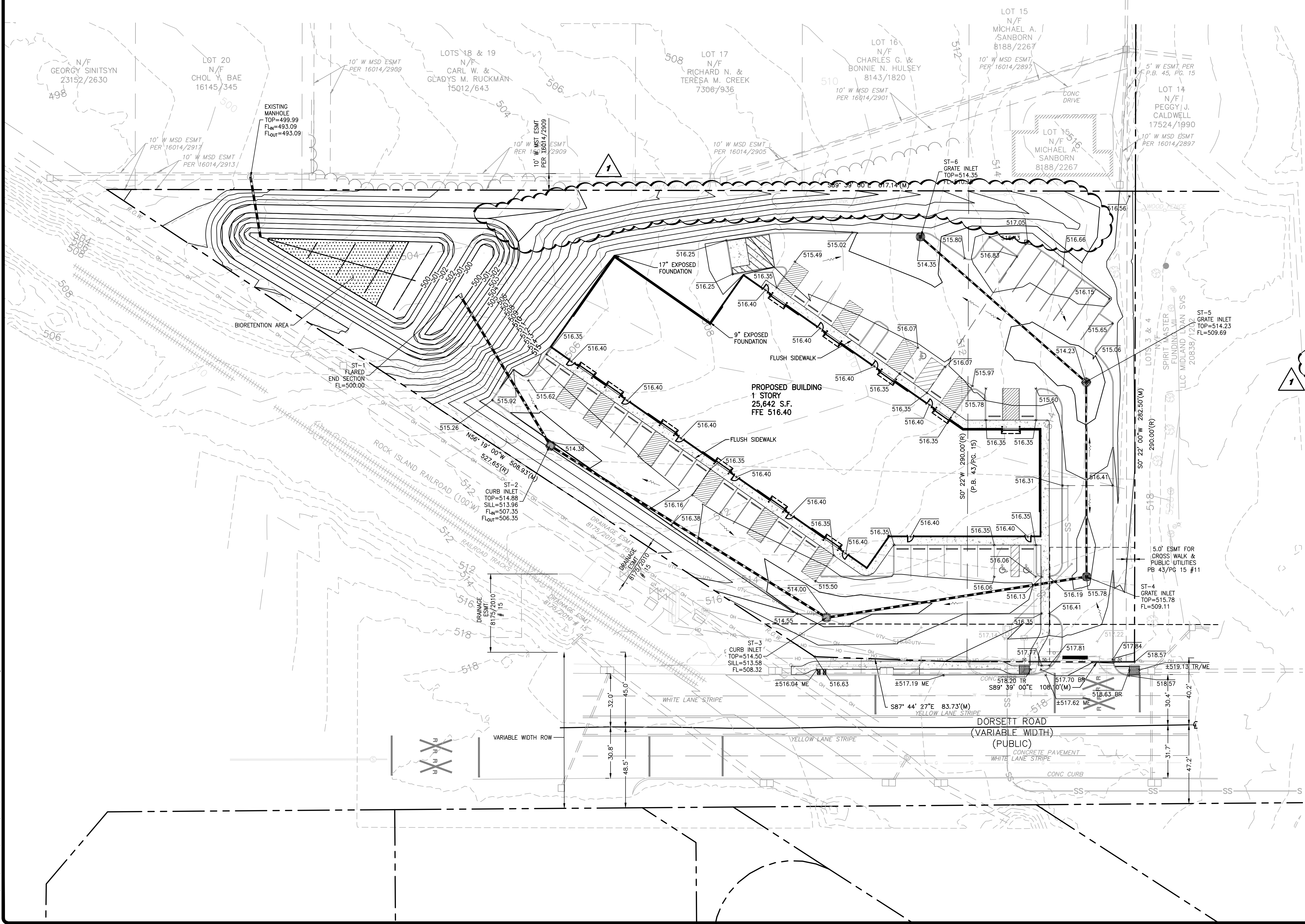
USER: Austin Esterhodi TAB: C5.0 GRADE
 DATE: September 8, 2023 11:16:43 AM
 DRAWING: s:\0085\jobs\2222\22-0125\CADD\C-Plan\PolSheet\0_Plan_Grade_22-0125.dwg



LOCATION MAP
N.T.S.

GRADING NOTES

- ALL GRADES ARE TO FINISH GRADE OR FINISH PAVEMENT. THE CONTRACTOR SHALL DEDUCT PAVEMENT THICKNESS IN BUILDING AREAS TO OBTAIN SUBGRADE ELEVATIONS.
- SILTATION CONTROL SHALL BE UTILIZED DURING CONSTRUCTION TO PREVENT SILTATION FROM RUNNING ONTO THE ADJACENT STREETS & PROPERTIES. NO STORM WATER SHALL DRAIN ONTO CITY STREETS, STATE ROADS, OR PRIVATE PROPERTY.
- MAXIMUM SLOPE SHALL BE 3 HORIZ. TO 1 VERT. (3:1) THE CIVIL ENGINEER ASSUMES NO LIABILITY FOR SLOPES EXCEEDING THOSE RECOMMENDED BY GEOTECH. REPORT.
- ALL GRADING AND DRAINAGE SHALL MEET THE CITY OF MARYLAND HEIGHTS SPECIFICATIONS AND AS SPECIFIED IN SOILS REPORT.
- ADDITIONAL SILTATION CONTROL DEVICES MAY BE REQUIRED BY CITY OF MARYLAND HEIGHTS.
- THE GRADING CONTRACTOR SHALL ESTABLISH THE SILTATION CONTROL AND BE INSPECTED BY THE CITY OF MARYLAND HEIGHTS PRIOR TO BEGINNING THE GRADING.
- THE GRADING CONTRACTOR SHALL MAINTAIN THE SILTATION CONTROL DEVICES SO AS TO PREVENT SILT FROM BYPASSING THEM.
- THE CITY OF MARYLAND HEIGHTS CITY ENGINEER SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF THE GRADING TO VERIFY SILT CONTROL INSTALLATION, (GRADING PERMIT REQUIRED).
- DURING THE GRADING OPERATION ADDITIONAL SILTATION CONTROL MEASURES MAY BE REQUIRED AS DIRECTED BY THE CITY OF MARYLAND HEIGHTS.
- ALL CONSTRUCTION METHODS AND MATERIAL SHALL CONFORM TO CURRENT CITY OF MARYLAND HEIGHTS STANDARDS.
- IF CUT AND FILL OPERATIONS OCCUR DURING A SEASON NOT FAVORABLE FOR IMMEDIATE ESTABLISHMENT OF A PERMANENT GROUND COVER. SEE VEGETATION NOTES.
- INSTALL SILTATION CONTROL FENCING AS SOON AS SITE IS BROUGHT TO FINAL GRADE.
- EXISTING AREAS OF SOFT SOILS AND ORGANIC DEBRIS SHALL BE COMPLETELY REMOVED. INTERIM STORM WATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED AS APPROVED BY M.S.D.
- ALL DISTURBED EARTH AREAS WITHIN PUBLIC RIGHT-OF-WAY AND OTHER OFF-SITE AREAS SHALL BE SOODED.
- ANY DISTURBED OFF-SITE PROPERTY (I.E. BUSHES, FENCES, MAILBOXES, ETC.) SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.



DEVELOPER/OWNER:
OAKLINE STUDIO
 1701 BORMAN ROAD SUITE 200
 MARYLAND HEIGHTS, MO 63146
 (314) 551-2906

DORSETT PLACE
 11737 DORSETT ROAD
 MARYLAND HEIGHTS, MO 63043

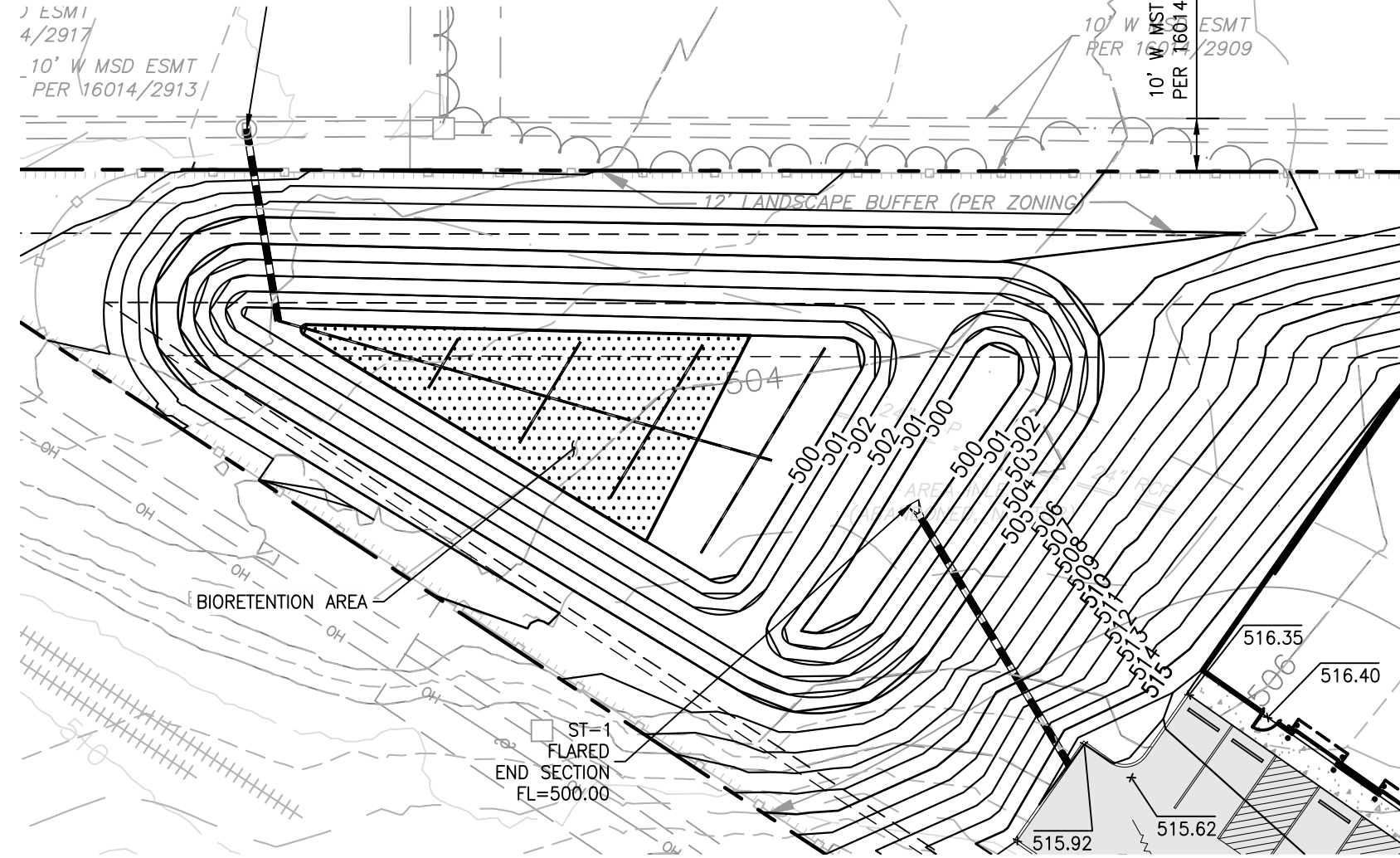
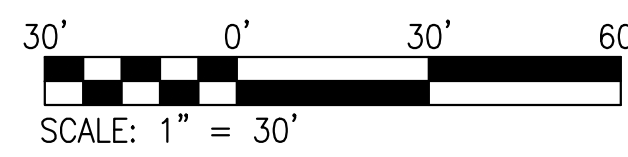
STORM AND GRADING PLAN

DESIGN/CALC BY	J.C.S
DRAWN BY	J.C.S
CHECKED BY	J.P.L
DRAWING SCALE	AS SHOWN
DATE	09/08/2023
Job Number	22-0125
Sheet Number	C5.0

NO	REVISION DESCRIPTION	DATE
1	GRADING REVISIONS	09/08/2023

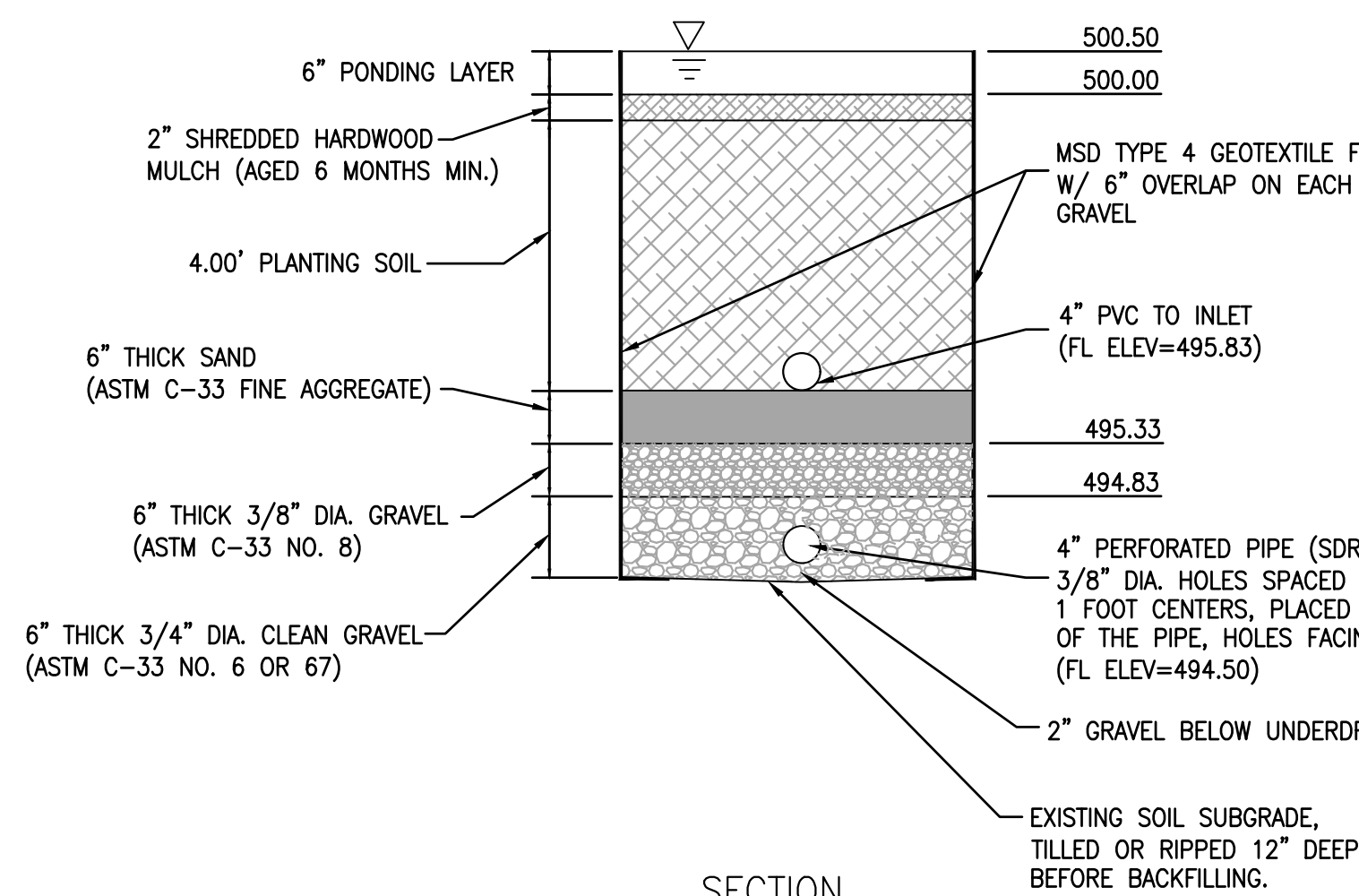
MSD P. NO. 22CNCBP-00067 BASE MAP: 29189C0183K HT#7767

THE PROJECT ENGINEER OR CONTRACTOR SHALL PROVIDE CERTIFIED SHOP DRAWINGS TO MSD FOR APPROVAL PRIOR TO CONSTRUCTION OF THIS BMP. THE MSD CONTACT IS BRIAN DUNN AT 314-335-2072



**SECTION PROFILE VIEW
BIO-RETENTION AREA**

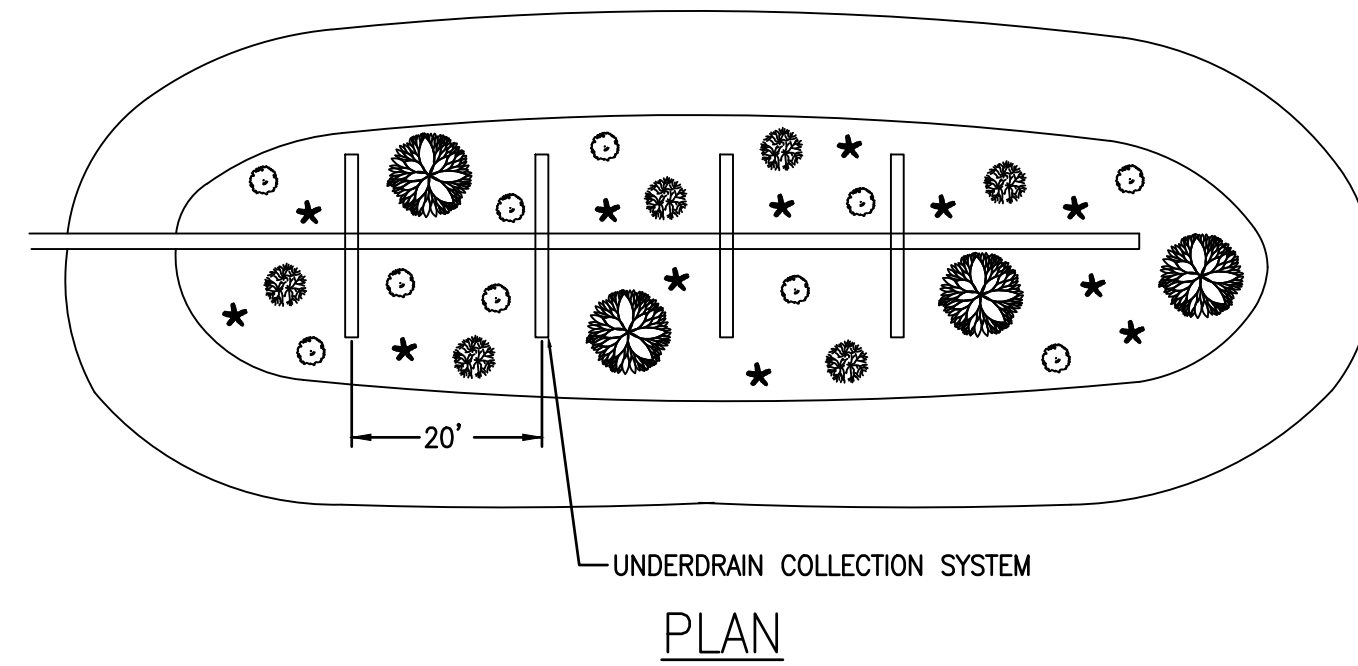
RAIN GARDEN PLANTING SCHEDULE IS LOCATED ON THE LANDSCAPE PLAN ON SHEET L1.0



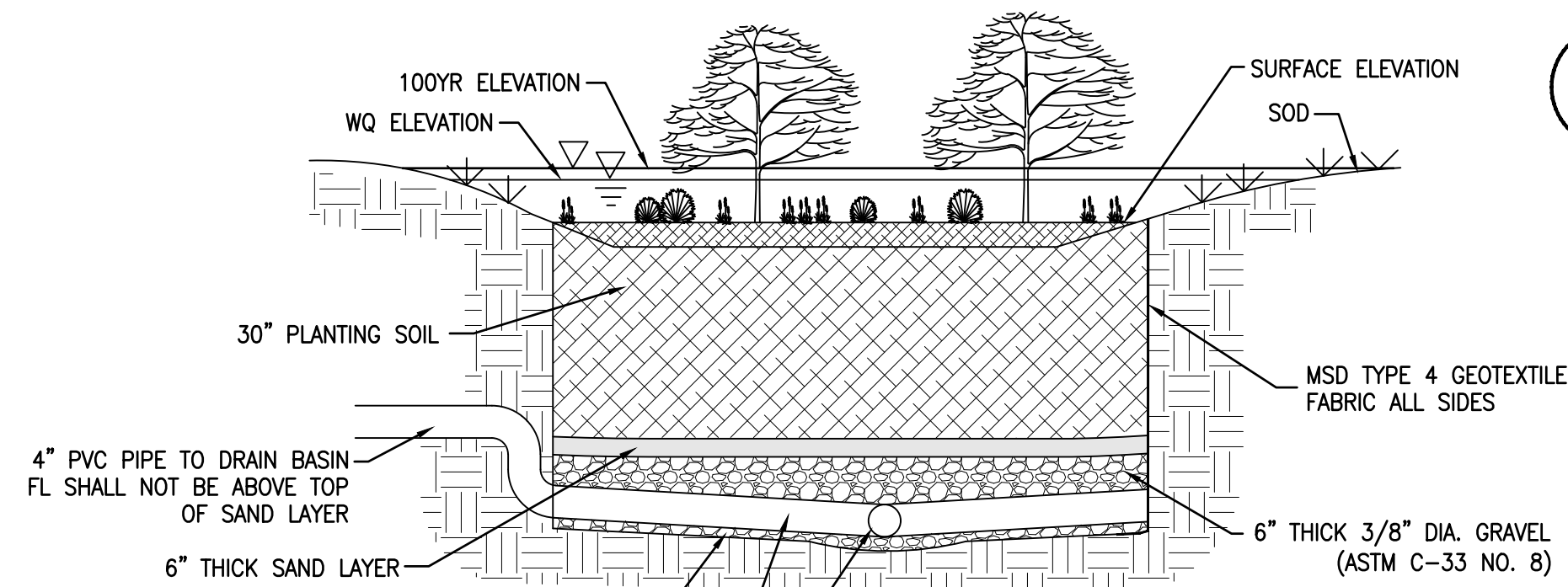
SECTION

NOTE: SEE PLAN FOR DESIGN ELEVATIONS.

5 BIORETENTION FILTER
SCALE: N.T.S. REF. DWG. C5.1



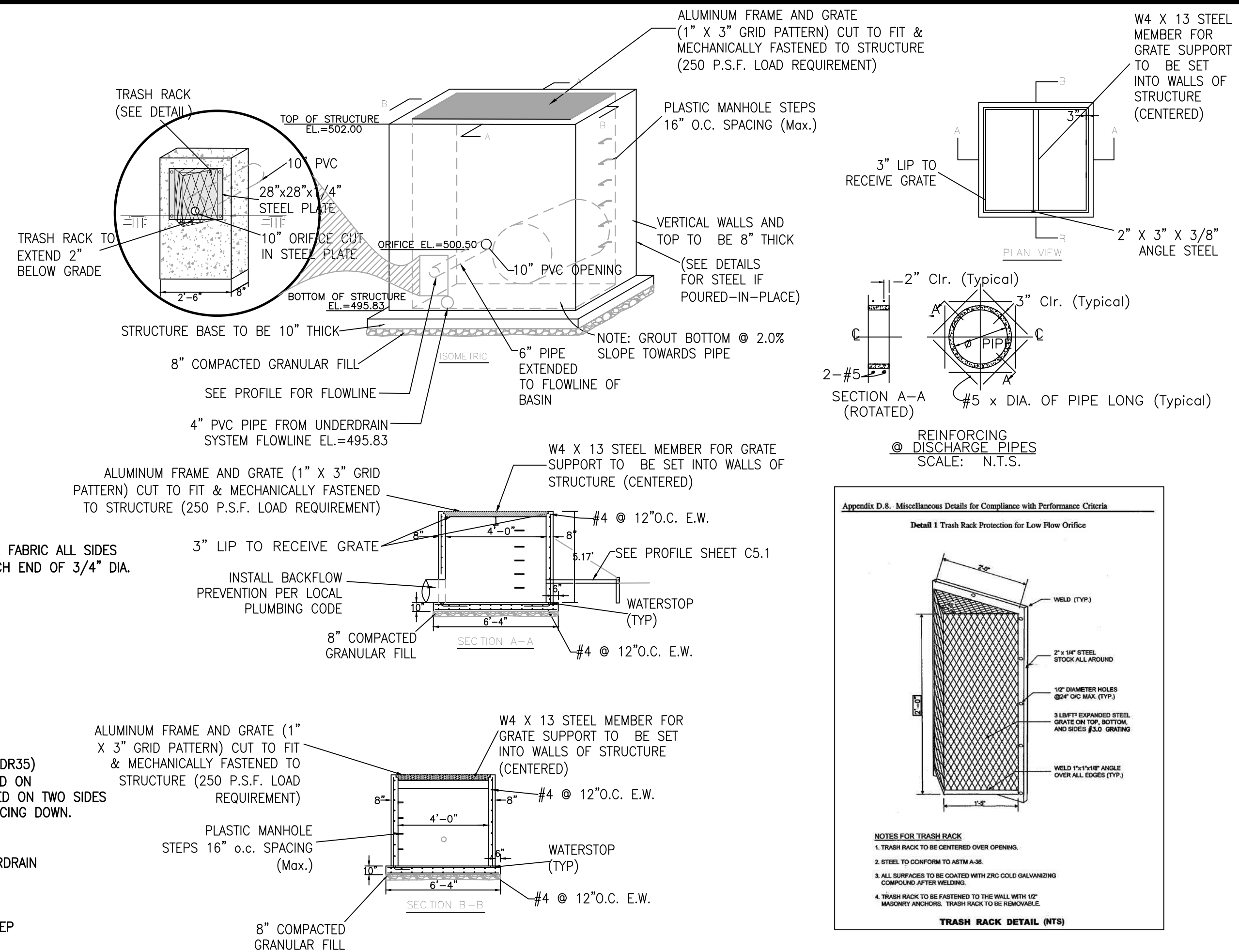
PLAN



PROFILE

NOTE: THE IN-PLACE PERMEABILITY OF THE PLANTING SOIL SHALL BE 2.0 TO 3.5 FT/DAY, AND VERIFIED BY AND INFILTRATION TEST PERFORMED PER THE MARYLAND STORMWATER MANUAL, APPENDIX D.1. "INFILTRATION TESTING REQUIREMENTS (FIELD TESTING REQUIRED)". A MINIMUM OF ONE PERCOLATION TEST SHALL BE PERFORMED PER FACILITY. THE MSD FIELD INSPECTOR SHALL BE ALLOWED TO SELECT THE LOCATION OF PERCOLATION TESTS. THE MSD FIELD INSPECTOR SHALL BE PROVIDED A COPY OF ALL TEST RESULTS, SIGNED AND SEALED BY A MISSOURI PROFESSIONAL ENGINEER. TEST RESULTS SHALL REPORT IN UNITS OF FT/DAY. RESULTS SHALL DEMONSTRATE ACCEPTABLE PERMEABILITY PRIOR TO CONSTRUCTION APPROVAL.

4 BIORETENTION AREA: TYPICAL PROFILE
SCALE: N.T.S. REF. DWG. C5.1



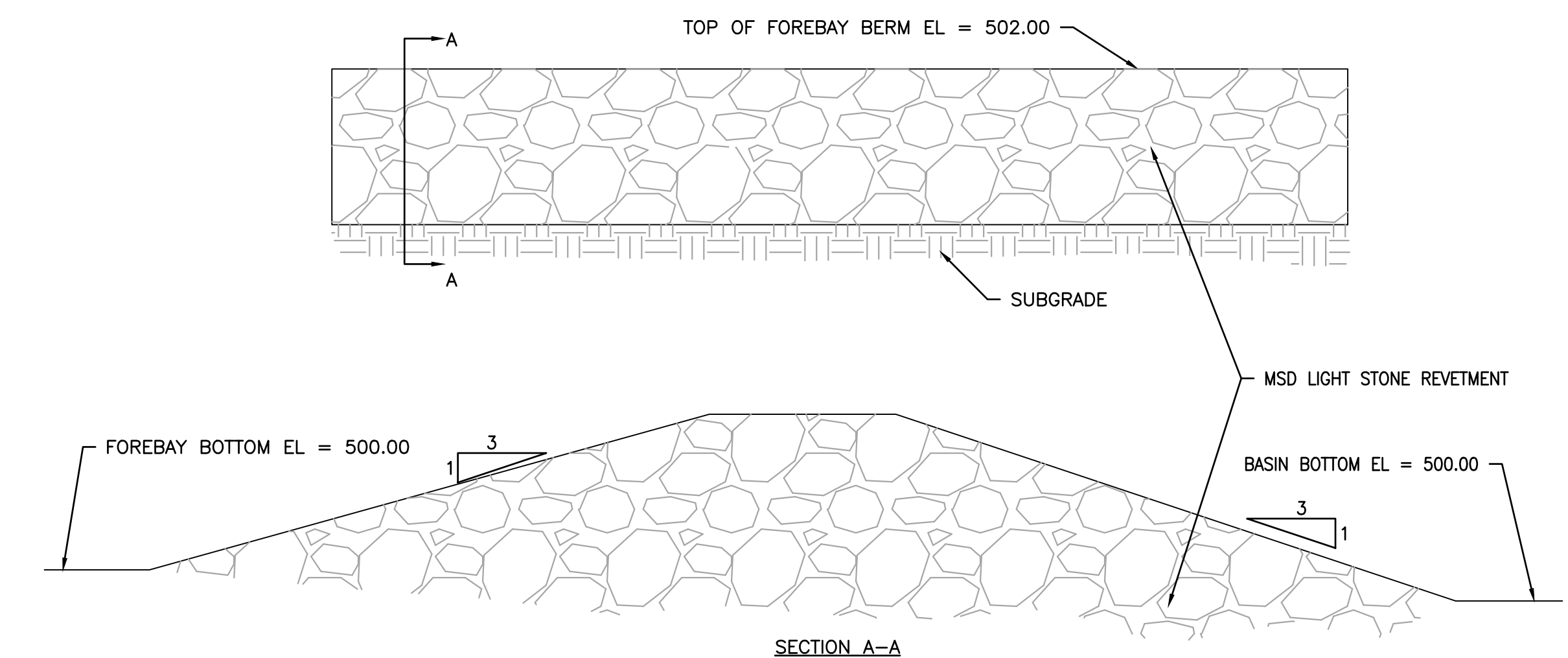
7 OUTLET STRUCTURE #13
SCALE: N.T.S. REF. DWG. C5.1

The planting soil should be a sandy loam or loamy sand (should contain a minimum of 60 percent sand, by volume). The clay content for these soils should be less than 10 percent by volume. A saturated hydraulic conductivity of at least 1.0 feet per day (0.5 inches per hour) is required. (Without post-construction verification, a conservative default value of 0.5 feet per day is acceptable. The design rate may be increased to 2 feet/day if field observation, post-construction infiltration testing, or other equivalent testing (as determined by the District) is provided to confirm the design rate is achieved.) The soil should be free of stones, stumps, roots, or other woody material over 1 inch in diameter. For best results, brush or seeds from noxious weeds, such as Johnson grass, mugwort, nutedge and Canadian thistle should not be present in the soils. Placement of the planting soil should be in lifts of 12 to 18 inches, loosely compacted (rubber wheeled heavy equipment and mechanical tamping devices are not recommended for compaction). The specific characteristics are presented in the following table.

Table 1: Planting Soil Characteristics. Source: Maryland Stormwater Manual

Parameter	Value
pH range	5.2 to 8.00
Organic matter	1.5 to 5.0%
Magnesium	35 lbs. per acre, minimum
Phosphorus (P ₂ O ₅)	75 lbs. per acre, minimum
Potassium (K ₂ O)	85 lbs. per acre, minimum
Soluble salts	≤ 500 ppm

8 BIORETENTION SOIL MIX
SCALE: N.T.S. REF. DWG. C5.7



7 ROCK DIKE DETAIL
SCALE: N.T.S. REF. DWG. C5.1

RAIN GARDEN

THE RAIN GARDEN IS DESIGNED TO HOLD STORMWATER RUNOFF SO IT CAN FILTER POLLUTANTS. THERE ARE SPECIAL PLANTS IN THE BEDS WHICH ACTUALLY ASSIST IN THE PROCESS OF ABSORBING THE POLLUTANTS.

RAIN GARDEN INFORMATION SIGN (NOT TO SCALE)

NOTES:

- STANDARD 18"x12"x0.080" ALUMINUM SIGN FACE WITH BLACK TEXT ON WHITE BACKGROUND GALVANIZED STEEL POST 9'-6" LONG.
- SET BOTTOM OF SIGN 5'-0" ABOVE GRADE.
- SET BOTTOM OF POST 3'-0" BELOW GRADE.

USER: Austin Esterhild TAB: C5.1 BIORETENTION
 DATE: September 8, 2023 11:16:48 AM
 DRAWING: s:\005\Jobs\2022\22-0125\CADD\C-Plan\FigSheets\C-Plan\GRADE_22-0125.dwg

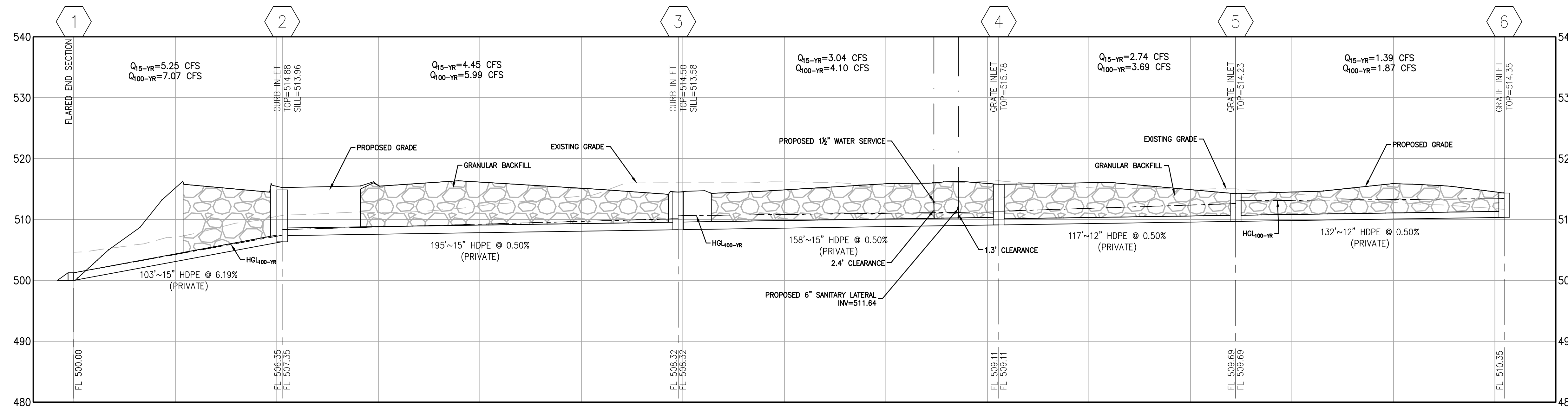
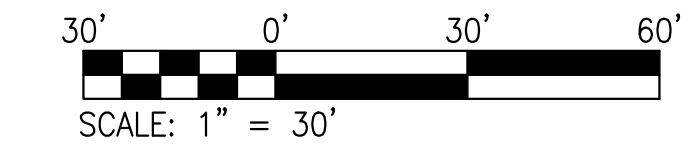
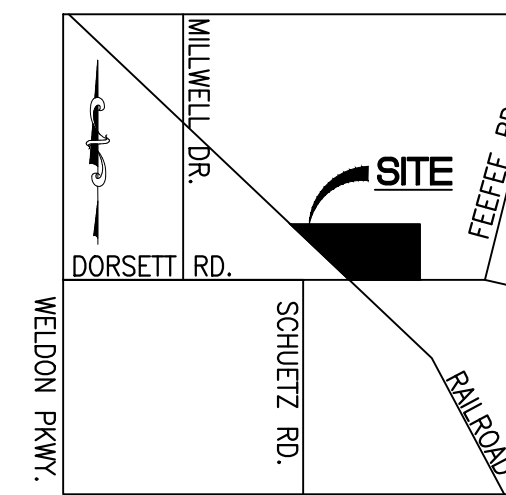
MSD P. NO. 22CNCBP-00067 BASE MAP: 28189C0183K HT#7767
 DESIGN/CALC BY: J.C.S.
 DRAWN BY: J.C.S.
 CHECKED BY: J.P.L.
 DRAWING SCALE: AS SHOWN
 DATE: 09/08/2023
 Job Number: 22-0125
 Sheet Number: C5.1

DEVELOPER/OWNER:
OAKLINE STUDIO
 1701 BORMAN ROAD SUITE 200
 MARYLAND HEIGHTS, MO 63046
 (314) 557-2906

THE PROFESSIONAL, WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON, HAS REVIEWED THE DRAWINGS FOR CONFORMANCE WITH THE MARYLAND PROFESSIONAL ENGINEERING AND SURVEYING ACT AND THE MARYLAND BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS. THIS REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE DRAWINGS AND DOES NOT CONSTITUTE AN ENDORSEMENT OF THE PROJECT OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DRAWINGS OR FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THE DRAWINGS. THE PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THE DRAWINGS. THE PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THE DRAWINGS.

COLE
 CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE
 414 S. 15th Street
 Suite 100
 St. Louis, MO 63103
 314.984.9887
 www.colearch.com

BIORETENTION BASIN DETAILS



1 STORM SEWER PROFILE (STRCT. 6-1)
SCALE: 1"=30' HORIZ., 1"=10' VERT. REF. DWG. C6.0

15 YEAR HYDRAULIC CALCULATIONS

Label	Diameter (in)	Length (Unified) (ft)	Manning's n	Bend Angle (Calculated) (degrees)	Slope (Calculated) (ft/ft)	Flow (cfs)	Capacity (Excess Full Flow) (cfs)	Capacity (Full Flow) (cfs)	Velocity (In) (ft/s)	Velocity (Out) (ft/s)	Stop Node	Invert (Stop) (ft)	Elevation Ground (Stop) (ft)	Hydraulic Grade Line (Out) (ft)	Start Node	Invert (Start) (ft)	Elevation Ground (Start) (ft)	Hydraulic Grade Line (In) (ft)	Freeboard (ft)
6-5	12	132.3	0.013	48.6	0.005	1.39	1.13	2.52	1.77	1.77	5	509.69	514.23	511.25	6	510.35	514.35	511.45	2.90
5-4	12	116.7	0.013	81.18	0.005	2.74	-0.23	2.51	3.49	3.49	4	509.11	515.78	510.27	5	509.69	514.23	510.96	3.27
4-3	15	157.9	0.013	40.85	0.005	3.04	1.53	4.57	2.72	2.48	3	508.32	513.58	509.86	4	509.11	515.78	510.18	5.60
3-2	15	195	0.013	27.14	0.005	4.45	0.11	4.56	4.23	4.23	2	507.35	513.96	508.35	3	508.32	513.58	509.32	4.26
2-1	15	102.7	0.013	0	0.062	5.25	10.82	16.07	5.37	4.28	1	500.00	501.25	501.25	2	506.35	513.96	507.28	6.68

100 YEAR HYDRAULIC CALCULATIONS

Label	Diameter (in)	Length (Unified) (ft)	Manning's n	Bend Angle (Calculated) (degrees)	Slope (Calculated) (ft/ft)	Flow (cfs)	Capacity (Excess Full Flow) (cfs)	Capacity (Full Flow) (cfs)	Velocity (In) (ft/s)	Velocity (Out) (ft/s)	Stop Node	Invert (Stop) (ft)	Elevation Ground (Stop) (ft)	Hydraulic Grade Line (Out) (ft)	Start Node	Invert (Start) (ft)	Elevation Ground (Start) (ft)	Hydraulic Grade Line (In) (ft)	Freeboard (ft)
6-5	12	132.3	0.013	48.6	0.005	1.87	0.65	2.52	2.38	2.38	5	509.69	514.23	513.07	6	510.35	514.35	513.43	0.92
5-4	12	116.7	0.013	81.18	0.005	3.69	-1.18	2.51	4.7	4.7	4	509.11	515.78	511.36	5	509.69	514.23	512.61	1.62
4-3	15	157.9	0.013	40.85	0.005	4.1	0.47	4.57	3.34	3.34	3	508.32	513.58	510.62	4	509.11	515.78	511.25	4.53
3-2	15	195	0.013	27.14	0.005	5.99	-1.43	4.56	4.88	5.75	2	507.35	513.96	508.34	3	508.32	513.58	510.13	3.45
2-1	15	102.7	0.013	0	0.062	7.07	9	16.07	6.35	5.76	1	500.00	501.25	501.25	2	506.35	513.96	507.41	6.55

USER: Austin Esterhodi TAB: Profiles
DATE: September 8, 2023 - 11:16:57 AM
DRAWING: s:\0085\Jobs\2022\22-0125\CADD\C-Plan\Profile\FILES_22-0125.dwg

NO	REVISION DESCRIPTION	DATE
1	GRAVING REVISIONS	09/08/2023

DEVELOPER/OWNER:
OAKLINE STUDIO
1701 BORMAN ROAD, SUITE 200
MARYLAND HEIGHTS, MO 63146
(314) 557-2906

THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON HAS REVIEWED THIS DRAWING FOR CONFORMANCE WITH THE PROFESSIONAL SEAL ACT AND HAS DETERMINED THAT THE DESIGN AND CALCULATIONS SHOWN ON THIS DRAWING COMPLY WITH THE REQUIREMENTS OF THE PROFESSIONAL SEAL ACT AND THE SPECIFICATIONS, ESTIMATES, REPORTS, OR OTHER DOCUMENTS OF INSTRUMENTS NOTED ON THIS DRAWING. THIS REVIEW IS LIMITED TO THE DESIGN AND CALCULATIONS SHOWN ON THIS DRAWING AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE DESIGNER'S LIABILITY FOR THE DESIGN AND CALCULATIONS SHOWN ON THIS DRAWING.

DORSETT PLACE
11737 DORSETT ROAD
MARYLAND HEIGHTS, MO 63043

STORM SEWER PROFILES

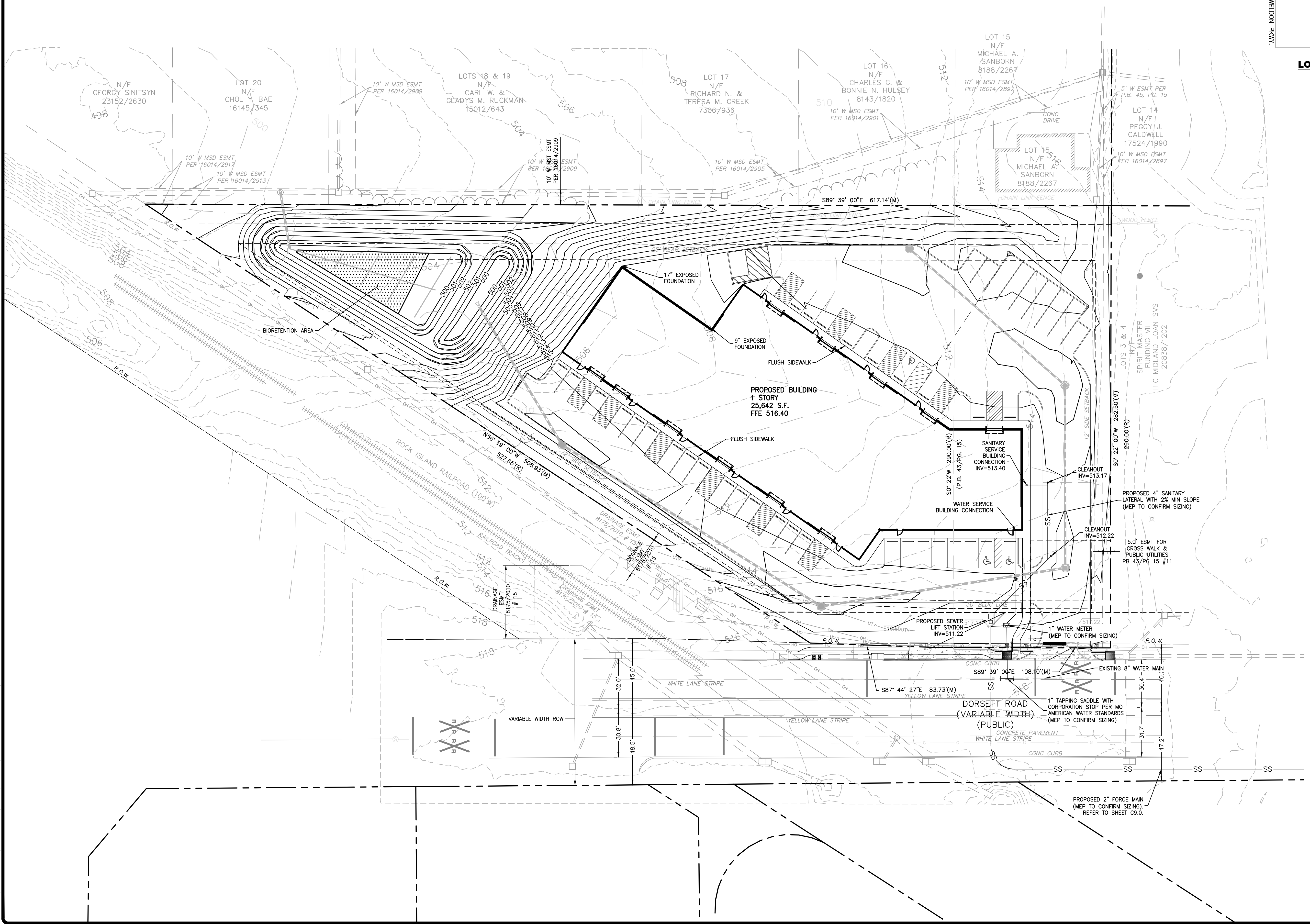
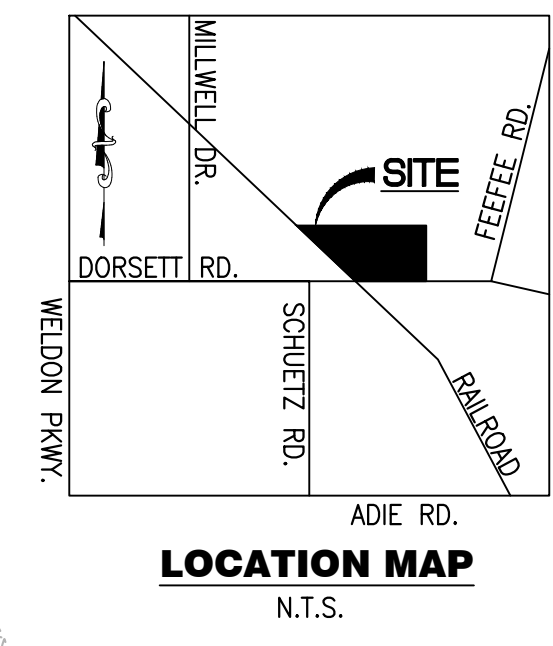
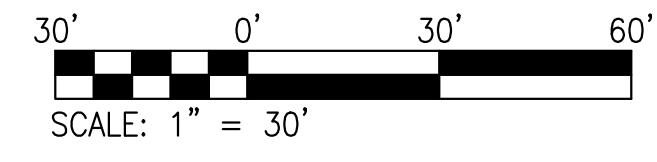
ST. LOUIS
11515 1/2th Street
Suite 100
St. Louis, MO 63103
314.984.9887 tel
www.coile.com

COILE
CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE
Civil & Architectural, Inc. is a Missouri Government Sub. Civil Design Group, Inc. is a Missouri & Texas Partner registered as an "Equal"

DESIGN/CALC BY	J.C.S
DRAWN BY	J.C.S
CHECKED BY	J.P.L
DRAWING SCALE	AS SHOWN
DATE	09/08/2023
Job Number	22-0125
Sheet Number	C5.2

MSD P. NO. 22CNCBP-00067 BASE MAP: 29189C0183K HT#7767

USER: Audit_Estimated TAB: Utility
 DATE: September 8, 2023 - 11:17:08 AM
 DRAWING: s:\0085\Jobs\22-0125\CADD\C-Plan\PlotSheets\0_Plan\UTILITY_22-0125.dwg



DATE	NO	REVISION DESCRIPTION
09/08/2023	1	GRADING REVISIONS

DEVELOPER/OWNER:
OAKLINE STUDIO
 17701 BORMAN ROAD, SUITE 200
 MARYLAND HEIGHTS, MO 63146
 (314) 551-2906

THE PROFESSIONAL, WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON, HAS ASSURED THAT THIS PLAN IS ACCURATE AND COMPLETE AS SHOWN AND CONFORMS TO ALL APPLICABLE ORDINANCES, SPECIFICATIONS, ESTIMATES, REPORTS, OR OTHER DOCUMENTS OR INSTRUMENTS NOT SHOWN ON THIS PLAN. THIS PLAN IS THE PROPERTY OF THE PROFESSIONAL TO WHOM THIS PLAN IS REFERRED.

DESIGN/CALC BY
 J.C.S.

DORSETT PLACE
 11737 DORSETT ROAD
 MARYLAND HEIGHTS, MO 63043

UTILITY PLAN

ST. LOUIS
 1155 5th Street
 Suite 100
 St. Louis, MO 63103
 314.984.9887 / e/
 www.coilesti.com

COILE
 CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE
 Coile & Associates, Inc. is a Missouri Corporation. Coile Design Group, Inc. is a Missouri corporation. All other trademarks are the property of their respective owners.

DATE	09/08/2023
Job Number	22-0125
Sheet Number	C6.0

MSD P. NO. 22CNCBP-00067 BASE MAP: 28189C0183K HT#7767

PRECAST CONCRETE STORMWATER STRUCTURES

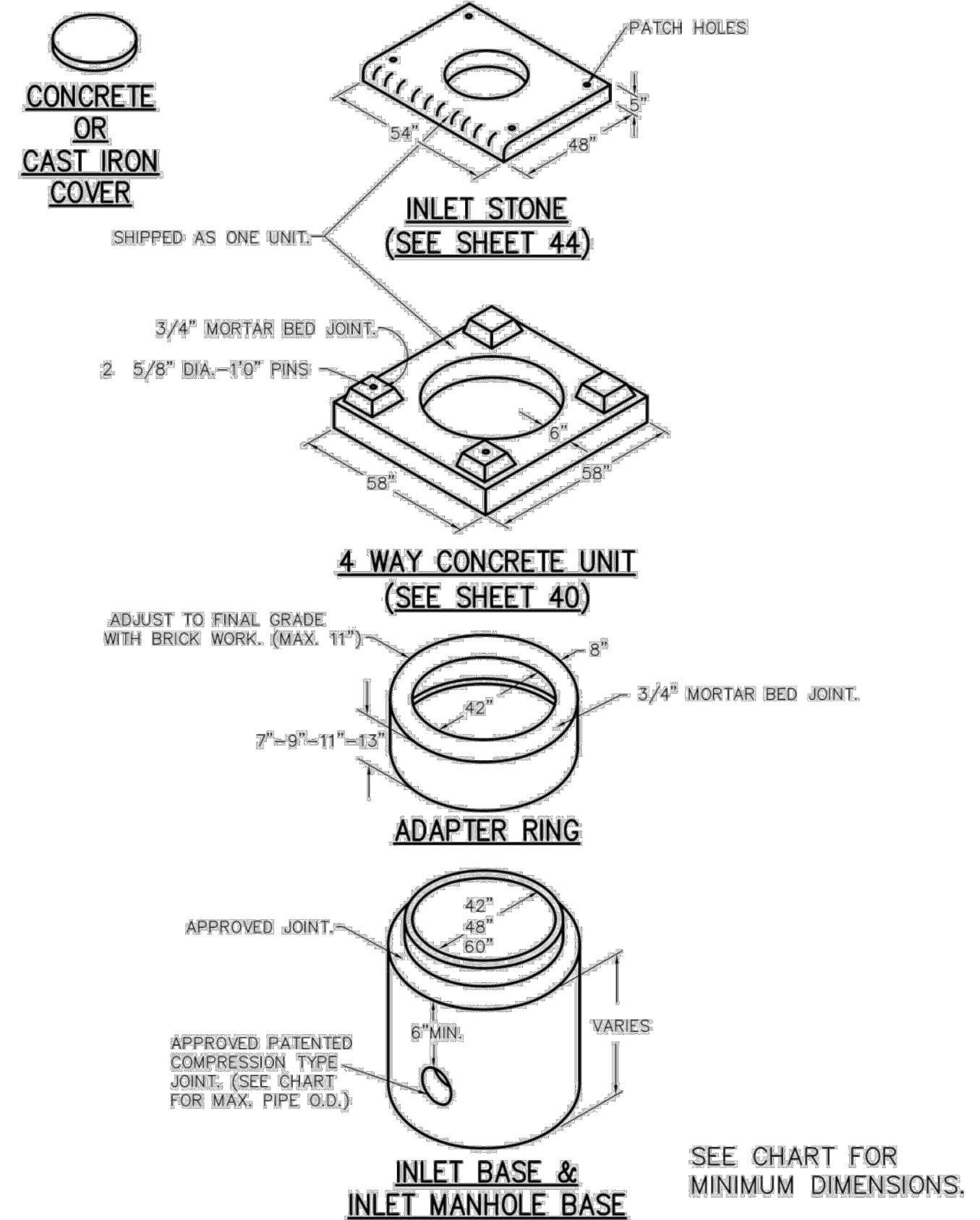
MINIMUM DISTANCE FLOWLINE TO TOP OF STONE OR GRATE

PIPE I.D. NOMINAL INCHES	AREA INLET CIRCULAR BASE DIA. 42" 48" 60"	(2) GRATE INLET CIRCULAR BASE DIA. 42" 48" 60" SQUARE (MAX.)	SINGLE STREET INLET CIRCULAR BASE DIA. 42" 48" 60" RECTANGLE (MAX.)
12"	45"	38"	31"
15"	48"	41"	34"
18"	52"	44"	37"
21"	55"	47"	40"
24"	58"	51"	44"
27"	75"	71"	NA
30"	82"	74"	NA
33"	85"	77"	NA

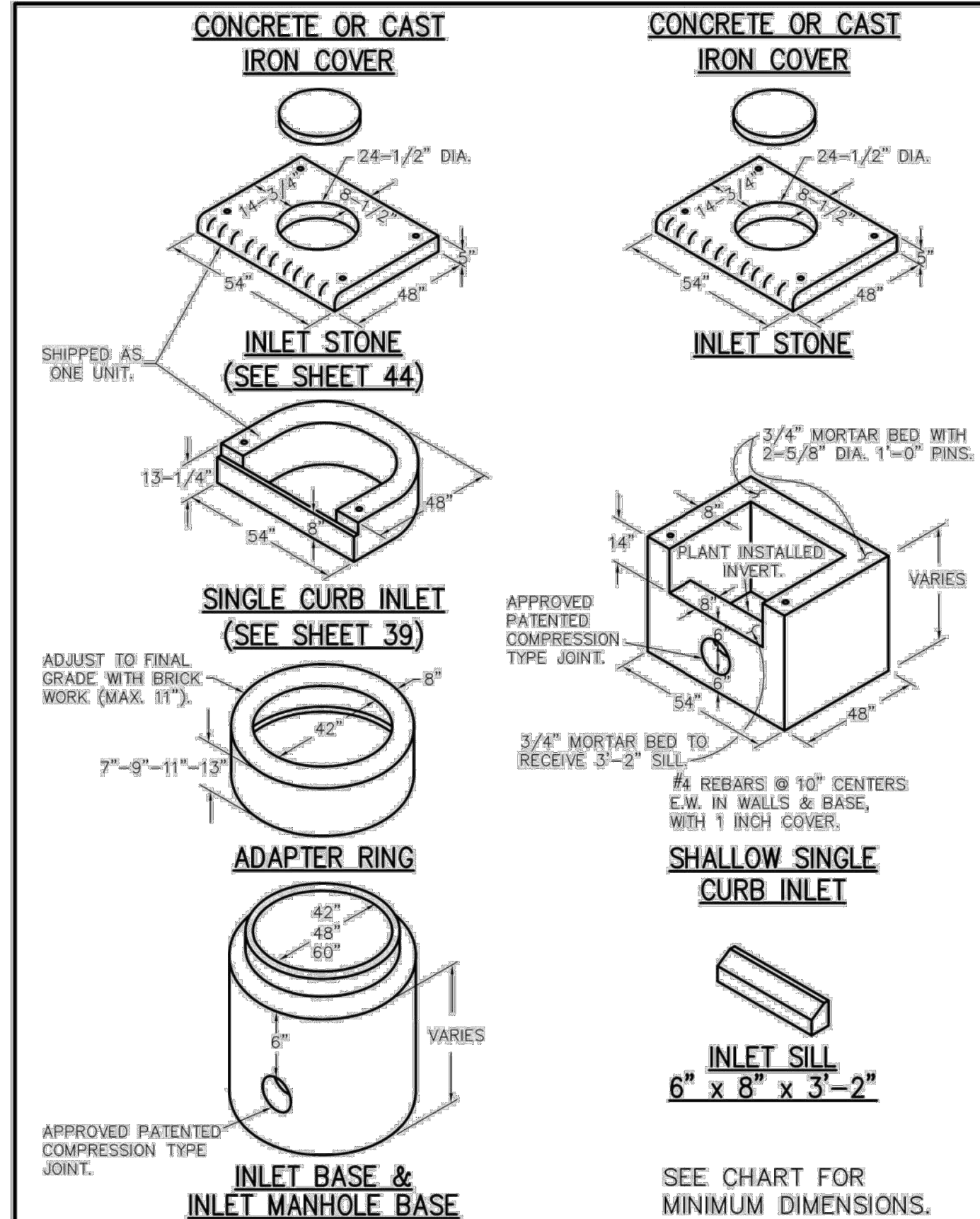
(SEE SHEET 34 FOR DETAIL) (SEE SHEET 35 FOR DETAIL) (SEE SHEET 36 FOR DETAIL)

- NOTES:
- 48" DIAMETER BASE REQUIRES 7" HIGH TRANSITION SECTION TO 42" DIAMETER, SIMILAR TO "ADAPTER RING" SHEET 34.
 - 60" DIAMETER BASE REQUIRES 24" HIGH ECCENTRIC REDUCER TRANSITION TO 42" DIAMETER, SIMILAR TO "ADAPTER RING" SHEET 34.
 - STANDARD DEPTH = 3+ PIPE DIAMETER.

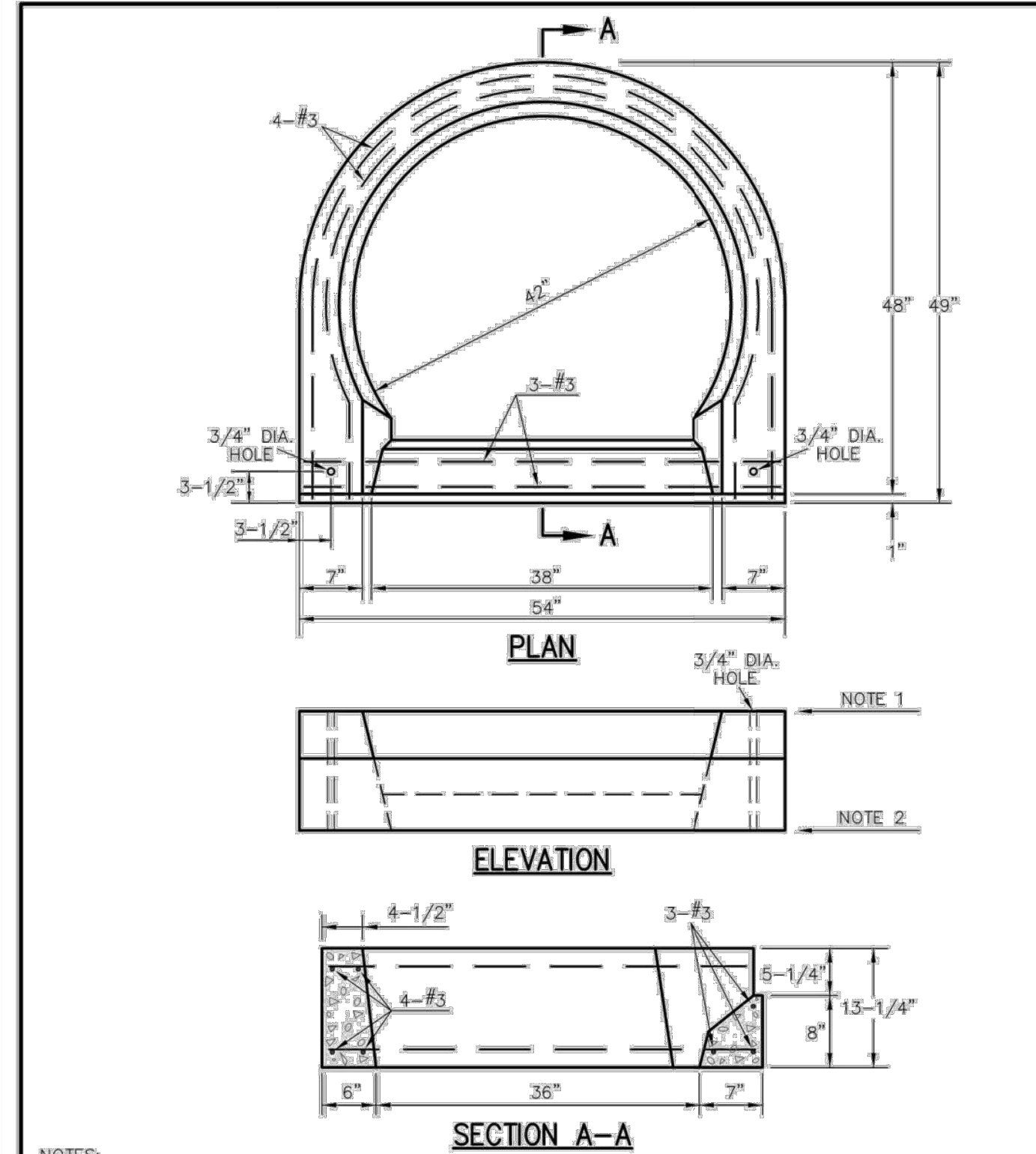
PRECAST CONCRETE STORMWATER STRUCTURES	METROPOLITAN ST. LOUIS SEWER DISTRICT <i>Standard Details of Sewer Construction</i>		
	Dr. J.L.G./SAM Ch. J.C.K.	2009	SHEET 33



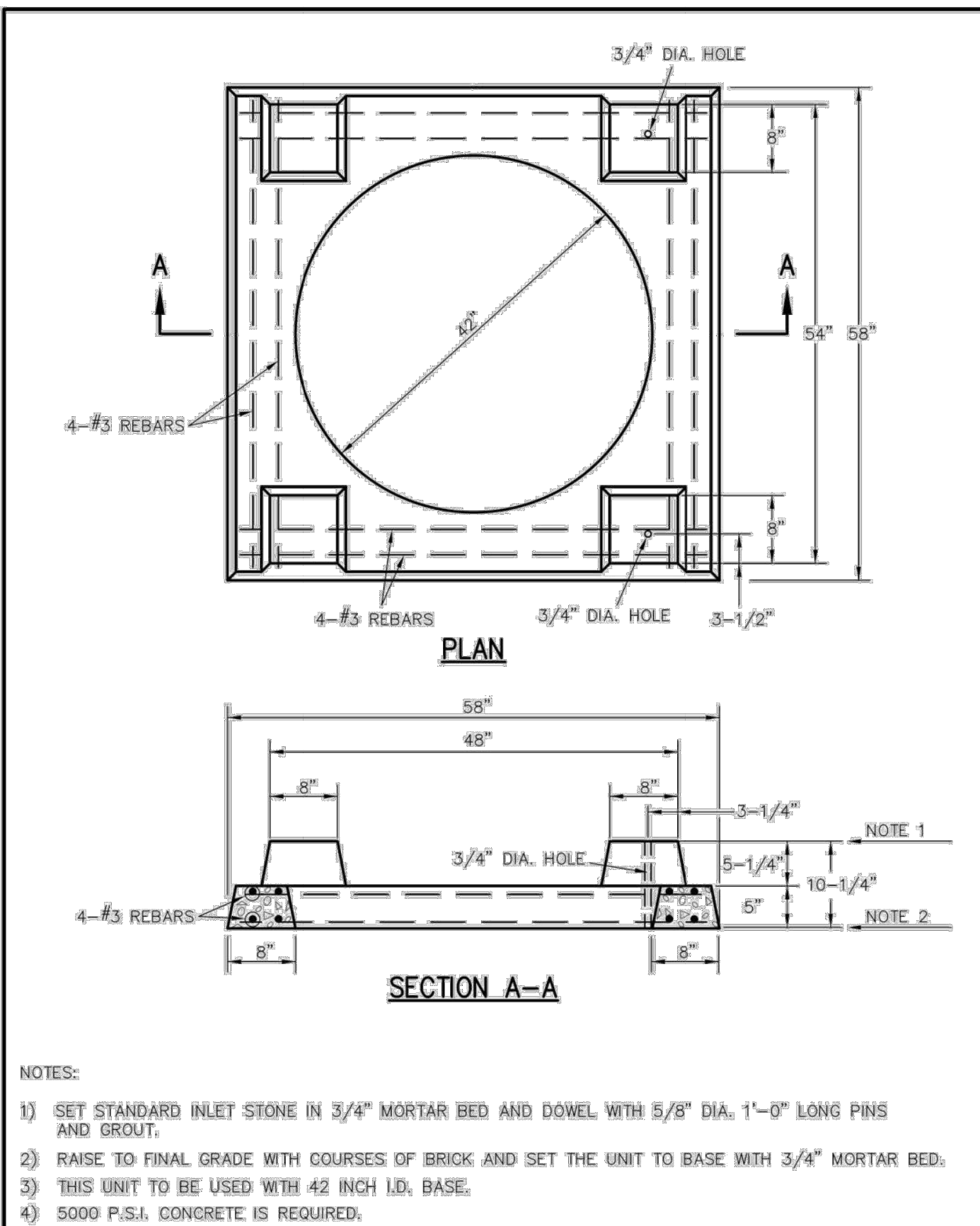
AREA INLET PRECAST CONCRETE	METROPOLITAN ST. LOUIS SEWER DISTRICT <i>Standard Details of Sewer Construction</i>		
	Dr. J.L.G./SAM Ch. J.C.K.	2009	SHEET 34



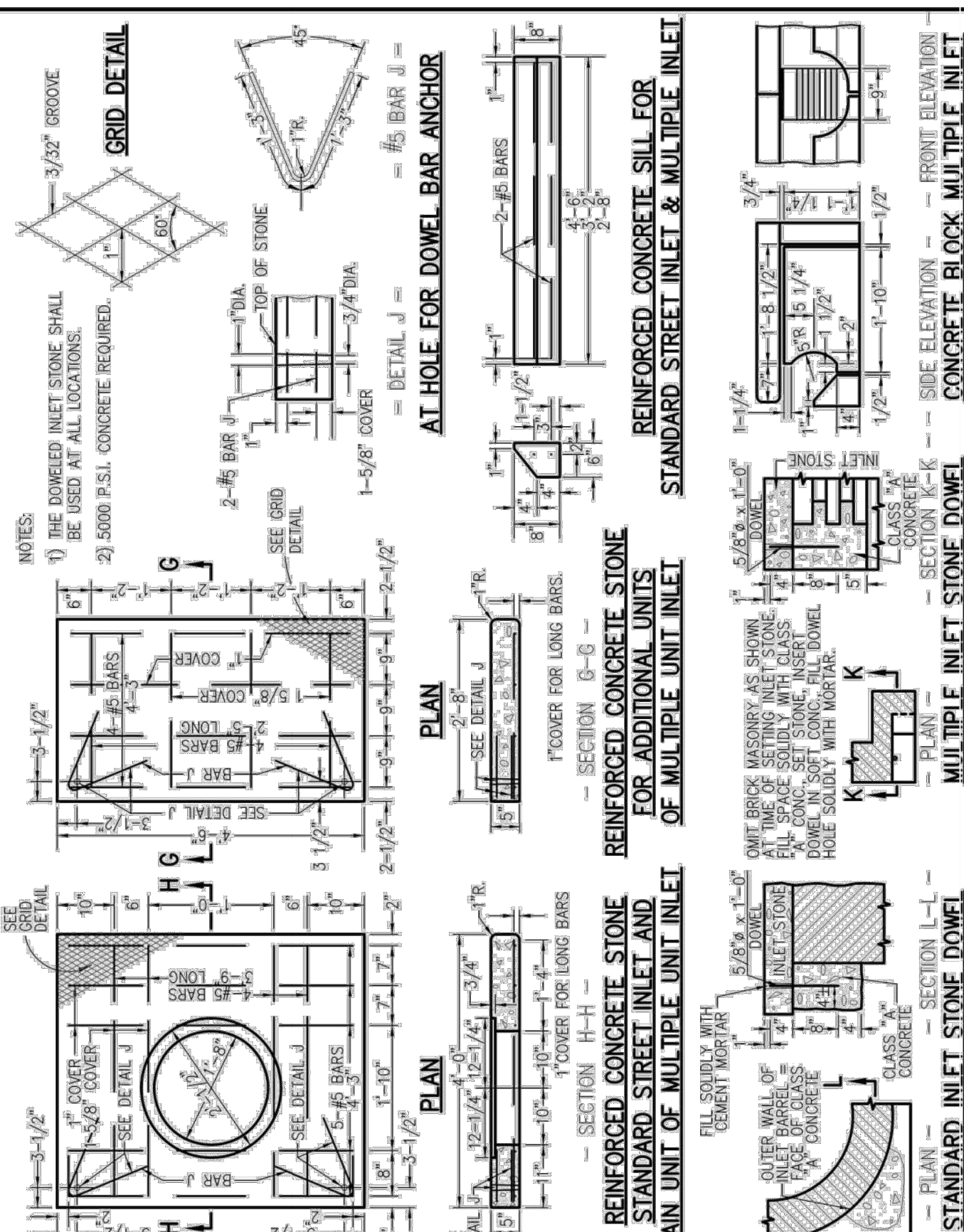
SINGLE STREET INLETS PRECAST CONCRETE	METROPOLITAN ST. LOUIS SEWER DISTRICT <i>Standard Details of Sewer Construction</i>		
	Dr. J.L.G./SAM Ch. J.C.K.	2009	SHEET 36



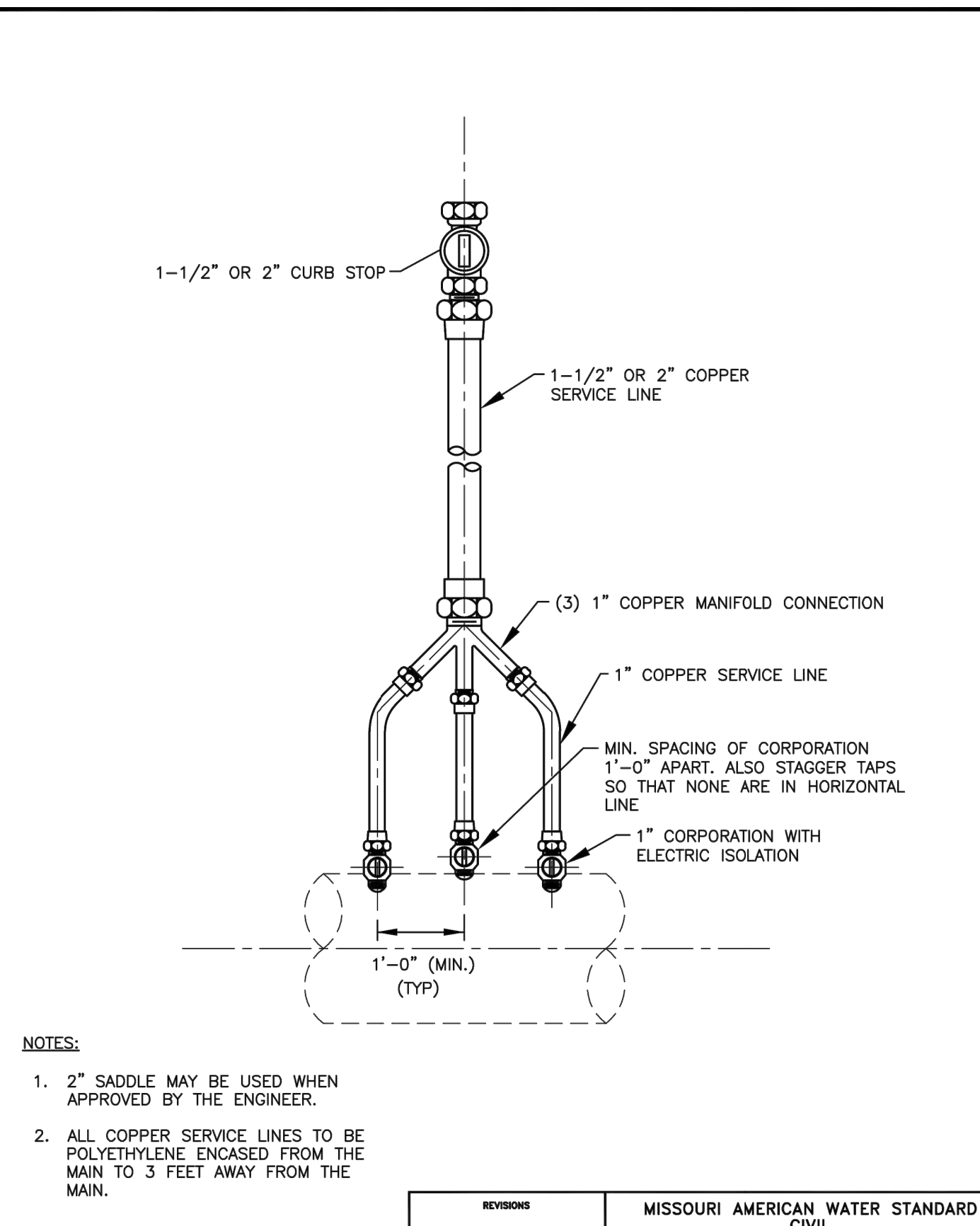
PRECAST CONCRETE UNIT FOR SINGLE STREET INLET	METROPOLITAN ST. LOUIS SEWER DISTRICT <i>Standard Details of Sewer Construction</i>		
	Dr. WSH/SAM Ch. J.C.K.	2009	SHEET 39



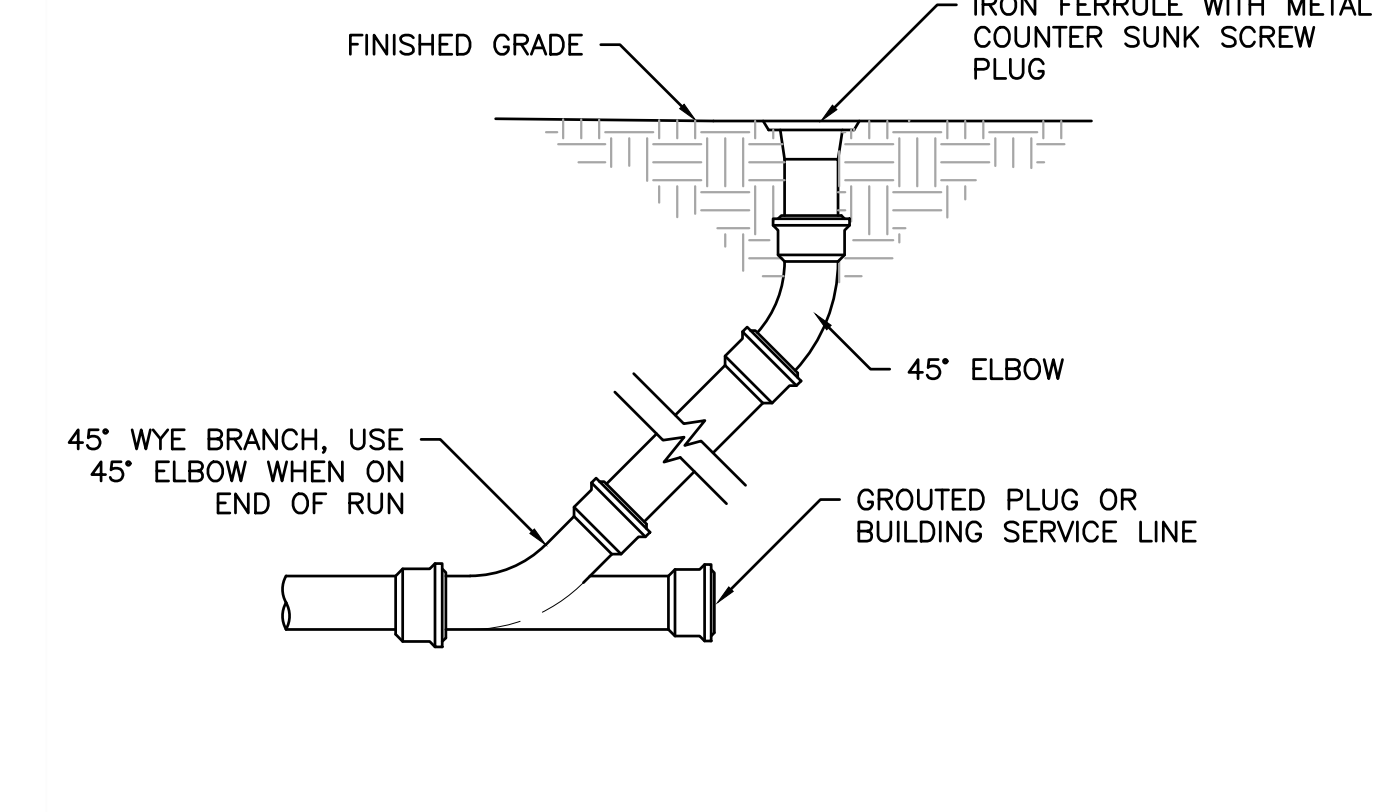
PRECAST CONCRETE UNIT FOR 4 WAY AREA INLET	METROPOLITAN ST. LOUIS SEWER DISTRICT <i>Standard Details of Sewer Construction</i>		
	Dr. DAB/SAM Ch. J.C.K.	2009	SHEET 40



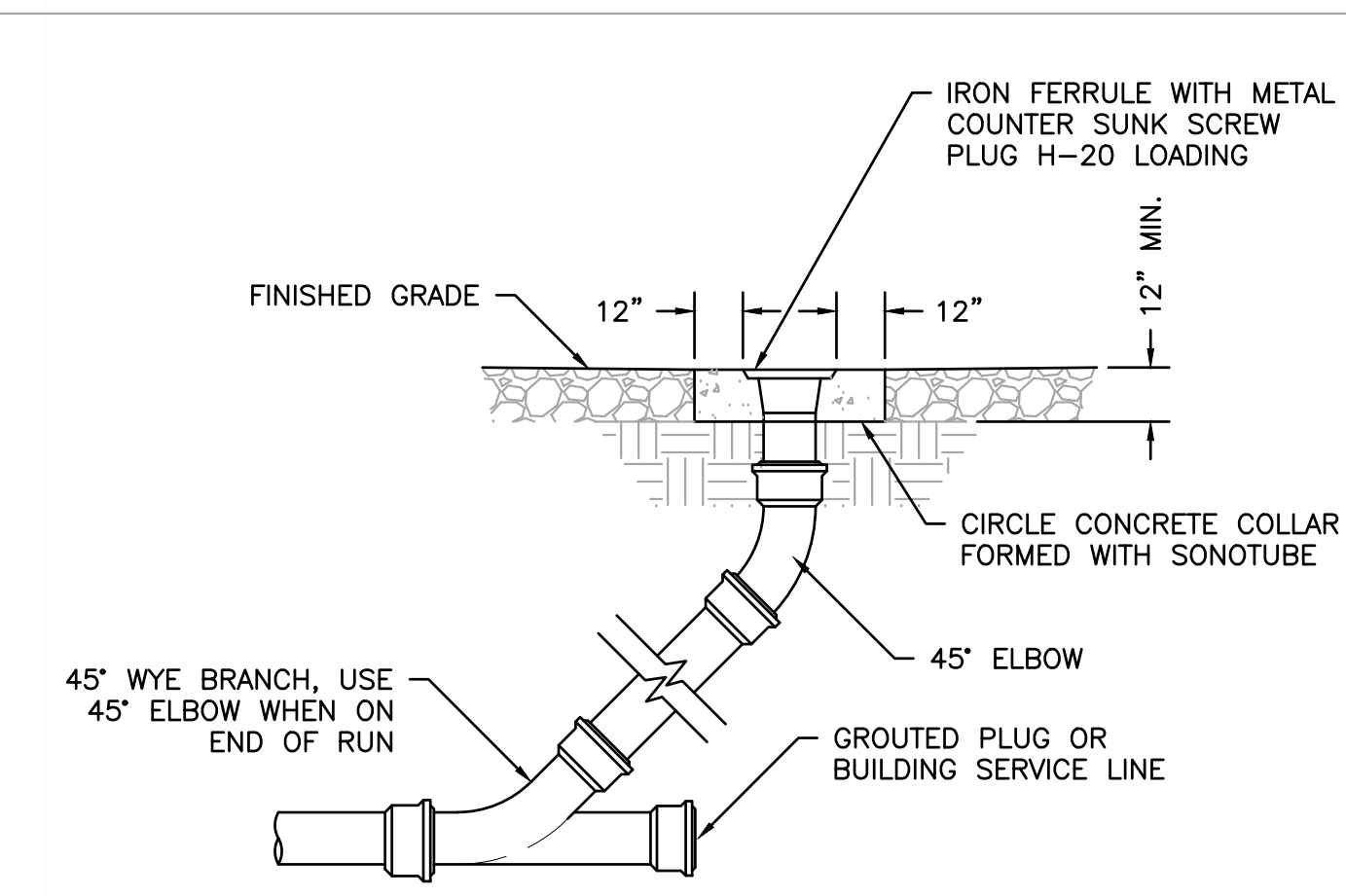
STANDARD - INLET STONES, BLOCKS & DESIGN DETAILS	METROPOLITAN ST. LOUIS SEWER DISTRICT <i>Standard Details of Sewer Construction</i>		
	Dr. WSH/SAM Ch. J.C.K.	2009	SHEET 44



MISSOURI AMERICAN WATER STANDARD CIVIL 1-1/2" AND 2" SERVICE LINES DETAIL	MISSOURI AMERICAN WATER ST. LOUIS, MO. 63141
MISSOURI AMERICAN WATER ENGINEERING 137 OAK ROAD ST. LOUIS, MO. 63141	AMERICAN WATER
DATE 11-13-08 PROJECT #	USE DIMENSIONS ONLY SCALE N.T.S.
FOR APPROVED DRAWINGS ONLY FOR CONSTRUCTION PURPOSES	0201-0601-SD50



1 CLEANOUT DETAIL SCALE: N.T.S.	REF. DWG. C6.1
------------------------------------	----------------



2 TRAFFIC RATED CLEANOUT DETAIL SCALE: N.T.S.	REF. DWG. C6.1
--	----------------

USER: Austin Esterhild TAB: UTILITY DETAILS
DATE: September 8, 2023 11:17:25 AM
DRAWING: s:\005\Jobs\2022\22-0125\CADD\C-Plan\PolSheet33.dwg

DATE	NO	REVISION DESCRIPTION
09/08/2023	1	GRAVING REVISIONS

DEVELOPER/OWNER:
OAKLINE STUDIO
1701 BORMAN ROAD, SUITE 200
MARYLAND HEIGHTS, MO 63146
(314) 551-2906

THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON IS A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF MISSOURI AND HAS ASSUMED RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THIS PLAN IS THE PROPERTY OF THE ENGINEER AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT HIS WRITTEN PERMISSION.

Dr. J.L.G./SAM
Ch. J.C.K.
2009
SHEET 33

DORSETT PLACE
11737 DORSETT ROAD
MARYLAND HEIGHTS, MO 63043

UTILITY DETAILS

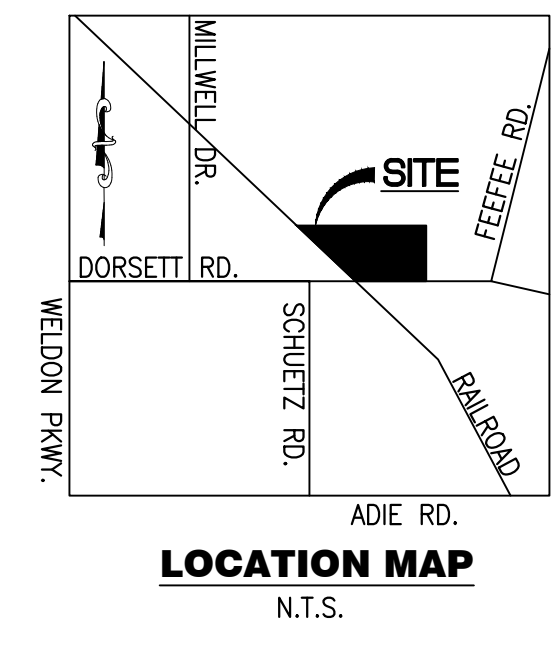
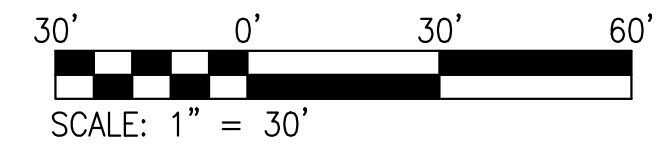
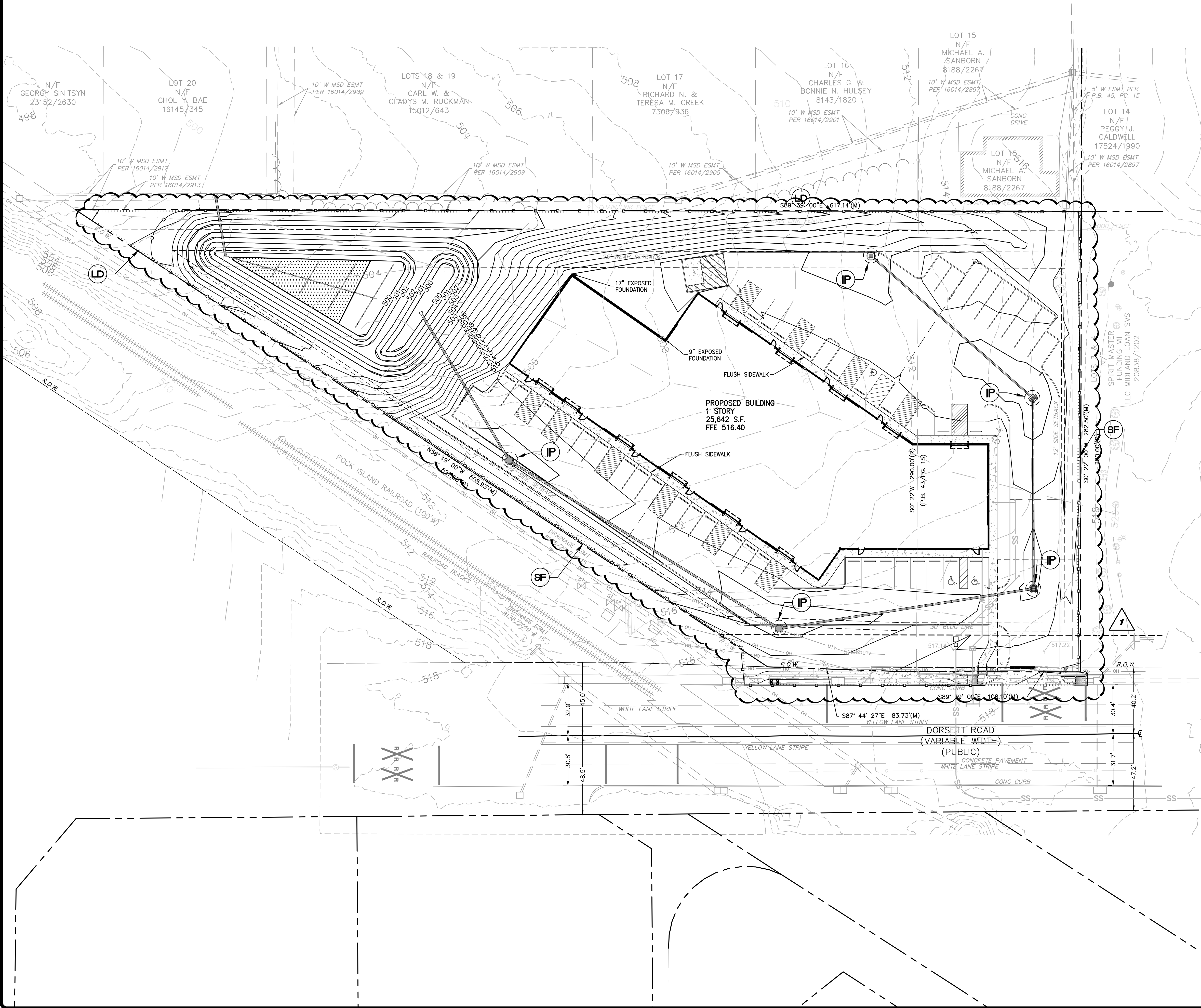
ST. LOUIS
1515 1/2 Street
St. Louis, MO 63103
314.984.9887 tel/
www.coile.com

COILE
CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE

DESIGN/CALC BY: J.C.S.
DRAWN BY: J.C.S.
CHECKED BY: J.P.L.
DRAWING SCALE: AS SHOWN
DATE: 09/08/2023

Job Number
22-0125
Sheet Number
C6.1

USER: Aulifi, Esterhodi, TAB: SWPP
 DATE: September 8, 2023 - 11:17:34 AM
 DRAWING: s:\0095\jobs\22-0125\CAD\CAD\Plan\SWPP_22-0125.dwg



LOCATION MAP
N.T.S.

SWPPP LEGEND

LABEL	SYMBOL	DESCRIPTION
LD	LIMITS OF DISTURBANCE
SF	—○—○—○—	SILT FENCE (REFER TO DETAIL ON SHEET C7.2)
IP	○	INLET PROTECTION (REFER TO DETAIL ON SHEET C7.2)

DATE	NO	REVISION DESCRIPTION
09/08/2023	1	GRADING REVISIONS

OAKLINE STUDIO
 1701 BORMAN ROAD SUITE 200
 MARYLAND HEIGHTS, MO 63146
 (314) 551-2906

DEVELOPER/OWNER:
 THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON IS ASSUMED TO BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA SUBMITTED TO THIS OFFICE FOR THE PREPARATION OF THIS PLAN. THE PROFESSIONAL'S SIGNATURE AND SEAL ARE REQUIRED FOR THE PLAN TO BE VALID. THE PROFESSIONAL'S SIGNATURE AND SEAL ARE REQUIRED FOR THE PLAN TO BE VALID. THE PROFESSIONAL'S SIGNATURE AND SEAL ARE REQUIRED FOR THE PLAN TO BE VALID.

DORSETT PLACE
 11737 DORSETT ROAD
 MARYLAND HEIGHTS, MO 63043

SWPP PLAN

ST. LOUIS
 1155 1/2 S. 1st Street
 Suite 100
 St. Louis, MO 63103
 314.984.9887 fax
 www.coilestl.com

COILE
 CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE
Cole & Associates, Inc. is a Missouri Government Sub. Cole designs, draws, seals, addresses & issues permits required for its "Civil"

DESIGN/CALC BY	J.C.S
DRAWN BY	J.C.S
CHECKED BY	J.P.L
DRAWING SCALE	AS SHOWN
DATE	09/08/2023
Job Number	22-0125
Sheet Number	C7.0

MSD P. NO. 22CNCBP-00067 BASE MAP: 29189C0183K HT#7767



LOCATION MAP
(NOT TO SCALE)



USGS MAP
(NOT TO SCALE)



SOILS MAP
(NOT TO SCALE)

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI	
60025	Urban land-Harvester complex, 2 to 9 percent slopes	0.1	5.4%	
60190	Metro-Urban land complex, 5 to 9 percent slopes	1.8	72.4%	
99023	Urban land, upland, 0 to 5 percent slopes	0.6	22.2%	
Totals for Area of Interest		2.5	100.0%	

SOILS MAP KEY
(NOT TO SCALE)

SWPPP CONTACT DATA

SITE ADDRESS	11737 DORSETT ROAD MARYLAND HEIGHTS, MO 63043
OWNER	OAKLINE STUDIO 11701 BORMAN RD, STE 200 MARYLAND HEIGHTS, MO 63146
EMERGENCY CONTACT	TO BE DETERMINED
SITE OPERATOR	TO BE DETERMINED

SWPPP SITE DATA

TOTAL SITE AREA	2.61 ACRES
ON-SITE DISTURBED AREA	2.61 ACRES
OFF-SITE DISTURBED AREA	0.00 ACRES
TOTAL DISTURBED AREA	2.61 ACRES
RUNOFF COEFFICIENT (IMPERVIOUS AREA)	0.90
RUNOFF COEFFICIENT (PERVIOUS AREA)	0.25
IMPERVIOUS AREA (PRE-DEVELOPED)	0.01 ACRES
PERVIOUS AREA (PRE-DEVELOPED)	2.61 ACRES
RUNOFF COEFFICIENT (PRE-DEVELOPED)	0.25
IMPERVIOUS AREA (POST-DEVELOPED)	1.47 ACRES
PERVIOUS AREA (POST-DEVELOPED)	1.14 ACRES
RUNOFF COEFFICIENT (POST-DEVELOPED)	0.62

SWPPP SEQUENCE

- INSTALL STABILIZED CONSTRUCTION ENTRANCE(S) AND SWPPP INFORMATION SIGN.
- INSTALL SILT FENCE(S) ON THE SITE (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE).
- PREPARE TEMPORARY PARKING AND STORAGE AREA.
- HALT ALL ACTIVITIES AND OBTAIN ANY AND ALL REQUIRED INITIAL BMP INSPECTIONS BEFORE PROCEEDING WITH CONSTRUCTION.
- CONSTRUCT AND STABILIZE ANY SEDIMENT BASIN(S) AND SEDIMENT TRAP(S) WITH APPROPRIATE OUTFALL STRUCTURES (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL BASINS AND TRAPS).
- INSTALL AND STABILIZE ANY HYDRAULIC CONTROL STRUCTURES (DIKES, SWALES, CHECK DAMS, ETC.).
- BEGIN CLEARING AND GRUBBING THE SITE.
- BEGIN GRADING THE SITE.
- START CONSTRUCTION OF THE BUILDING PAD AND ACCESSORY STRUCTURES.
- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
- INSTALL BUILDING AND ACCESSORY STRUCTURES.
- INSTALL PIPING, UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
- INSTALL RIP RAP AROUND OUTLET STRUCTURES AS EACH OUTLET STRUCTURE IS INSTALLED.
- INSTALL INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
- PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
- PREPARE SITE FOR PAVING.
- PAVE SITE.
- INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
- COMPLETE GRADING AND INSTALL PERMANENT STABILIZATION OVER ALL AREAS.
- OBTAIN CONCURRENCE FROM THE OWNER/DEVELOPER'S DESIGNATED REPRESENTATIVE (AS APPROPRIATE) THAT THE SITE HAS BEEN FULLY STABILIZED.
- REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
- STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF BMP'S.
- OBTAIN ANY AND ALL REQUIRED FINAL BMP INSPECTIONS.

SWPPP NOTES

- THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("SITE MAP"), THE STANDARD DETAILS, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- THE GENERAL CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE GENERAL CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- THE GENERAL CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- THE GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. CONTRACTOR SHALL CONSTRUCT TEMPORARY BERM ON DOWN STREAM SIDES IN COMPLIANCE WITH THIS SWPPP.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- ALL DENUDED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE MUST BE STABILIZED TEMPORARILY WITH THE USE OF FAST-GERMINATING ANNUAL GRASS/GRAIN VARIETIES, STRAW/HAY MULCH, WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING OR BLANKETS AS SHOWN ON SITE MAP.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEED, SODDED, AND/OR VEGETATED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES, STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTION DISCHARGE.
- SEE SITE PLAN FOR PERMANENT AND TEMPORARY SIGNAGE.
- GENERAL CONTRACTOR IS TO DESIGNATE/IDENTIFY AREAS ON THE SITE MAPS, INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
- REFER TO THE APPLICABLE NPDES PERMIT FOR REPORTABLE SPILL QUANTITIES OF PETROLEUM PRODUCTS AND/OR HAZARDOUS WASTES.
- GENERAL CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.
- ALL CONSTRUCTION VEHICLES SHALL ENTER AND EXIT THE CONSTRUCTION SITE BY USING THE DESIGNATED ENTRANCE OVERLAID WITH GRAVEL.
- NO CONSTRUCTION MATERIALS OR EQUIPMENT CAN BE STORED ON ADJACENT PROPERTIES.
- NO COMBUSTIBLE RUBBISH SHALL ACCUMULATE ON THE CONSTRUCTION SITE. ALL COMBUSTIBLE RUBBISH MUST BE REMOVED DAILY AND SHALL NOT BE DISPOSED OF BY BURNING.
- THE GENERAL CONTRACTOR SHALL MAINTAIN THE SILTATION CONTROL DEVICES SO AS TO PREVENT SILT FROM BYPASSING THEM AND DISTURBED AREAS SHALL BE ADEQUATELY RE-VEGETATED.
- ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL

BMP MAINTENANCE NOTES

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
- OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY AS BEEN REDUCED BY 50%.
- PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. ANY DEBRIS AND/OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEANED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

DEVICES AND/OR SEEDING AND MULCHING. EROSION CONTROL SHALL NOT BE LIMITED TO WHAT IS SHOWN ON THE PLAN. WHATEVER MEANS NECESSARY SHALL BE TAKEN TO PREVENT SILTATION AND EROSION FROM ENTERING NATURAL STREAMS AND ADJACENT ROADWAYS, PROPERTIES AND DITCHES.

- WHEN GRADING OPERATIONS ARE COMPLETED OR SUSPENDED FOR MORE THAN 30 DAYS, PERMANENT GRASS MUST BE ESTABLISHED AT SUFFICIENT DENSITY TO PROVIDE EROSION CONTROL ON THE SITE. BETWEEN PERMANENT GRASS SEEDING PERIODS, TEMPORARY COVER SHALL BE PROVIDED.

USER: Austin Esterhodi TAB: SWPPP NOTES
DATE: September 8, 2023 - 11:17:37 AM
DRAWING: s:\0095\jobs\2022\22-0125\CADD\C-Plan\Pol\Sheets\0_Plan_SWPPP_22-0125.dwg

MSD P. NO. 22CNCBP-00067 BASE MAP: 28189C01B3K HT#7167

NO	REVISION DESCRIPTION	DATE
1	GRADING REVISIONS	09/08/2023

DEVELOPER/OWNER:
OAKLINE STUDIO
11701 BORMAN ROAD, SUITE 200
MARYLAND HEIGHTS, MO 63146
(314) 551-2906

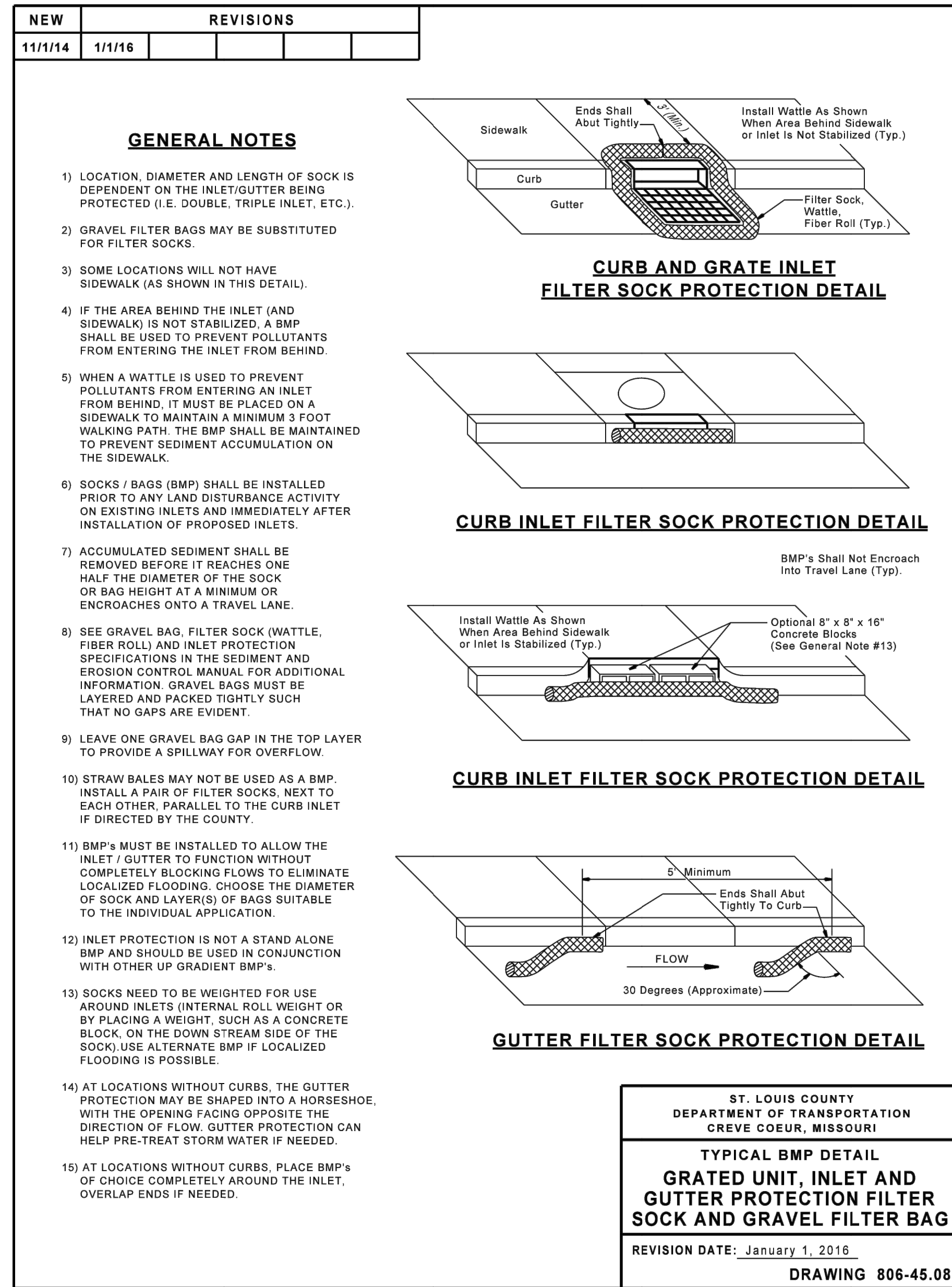
THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON ASSUMES NO LIABILITY FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT UNLESS THE PROFESSIONAL HAS BEEN SPECIFICALLY ADVISED IN WRITING OF SUCH LIABILITY AND HAS AGREED TO SUCH LIABILITY IN WRITING. THIS AGREEMENT SHALL BE SUBJECT TO THE TERMS AND CONDITIONS OF THE PROFESSIONAL'S STANDARD CONTRACT DOCUMENTS.

DORSETT PLACE
11737 DORSETT ROAD
MARYLAND HEIGHTS, MO 63043

COLE
CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE
415 N. 15th Street
St. Louis, MO 63103
314.984.9887 tel
www.colearch.com

DESIGN/CALC BY: J.C.S.
DRAWN BY: J.C.S.
CHECKED BY: J.P.L.
DRAWING SCALE: AS SHOWN
DATE: 09/08/2023

Job Number: **22-0125**
Sheet Number: **C7.1**



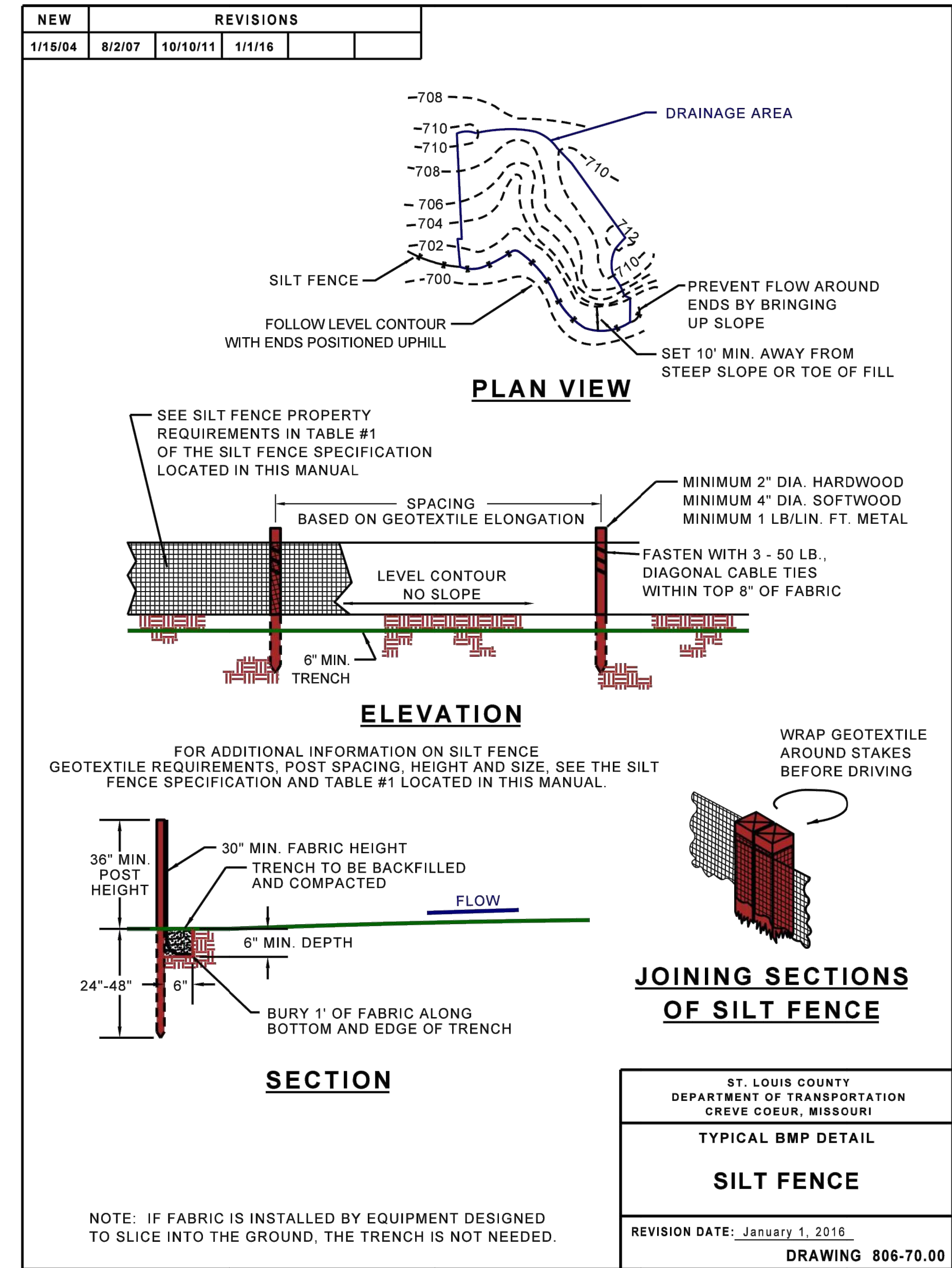
11/1/2016

Page 124

Sediment and Erosion Control Manual
Standard Drawings

1 INLET PROTECTION
SCALE: N.T.S.

REF. DWG. C7.0



11/1/2016

Page 143

Sediment and Erosion Control Manual
Standard Drawings

2 SILT FENCE
SCALE: N.T.S.

REF. DWG. C7.0

USER: Austin Esterhild TAB: SWPP DETAILS
DATE: September 8, 2023 - 11:17:49 AM
DRAWING: s:\005\Jobs\2022\22-0125\CADD\C-Plan\PolSheets\0_Plan\DETAIL_22-0125.dwg

MSD P. NO. 22CNCPB-00067 BASE MAP: 28189C0183K HT#7767

ST. LOUIS COUNTY
DEPARTMENT OF TRANSPORTATION
CREVE COEUR, MISSOURI

TYPICAL BMP DETAIL
SILT FENCE

REVISION DATE: January 1, 2016
DRAWING 806-70.00

DESIGN/CALC BY
J.C.S.

DRAWN BY
J.C.S.

CHECKED BY
J.P.L.

DRAWING SCALE
AS SHOWN

DATE
09/08/2023

Job Number
22-0125

Sheet Number
C7.2

OAKLINE STUDIO
1701 BORMAN ROAD SUITE 200
MARYLAND HEIGHTS, MO 63146
(314) 551-2906

DEVELOPER/OWNER:

THE PROFESSIONAL, SIGNATURE AND PERSONAL SEAL APPEAR HEREON AS A REQUIREMENT FOR THE EXERCISE OF PROFESSIONAL RESPONSIBILITY. ANY CHANGES TO SPECIFICATIONS, ESTIMATES, REPORTS, OR OTHER DOCUMENTS OR INSTRUMENTS NOT SPECIFICALLY IDENTIFIED IN THIS LIST OF REVISIONS SHALL BE THE RESPONSIBILITY OF THE USER. THIS SHEET IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

DATE 09/08/2023

NO. 1

REVISION DESCRIPTION

DORSETT PLACE
11737 DORSETT ROAD
MARYLAND HEIGHTS, MO 63043

SWPP DETAILS SHEET

ST. LOUIS COUNTY
DEPARTMENT OF TRANSPORTATION
CREVE COEUR, MISSOURI

TYPICAL BMP DETAIL
SILT FENCE

REVISION DATE: January 1, 2016
DRAWING 806-70.00

DESIGN/CALC BY
J.C.S.

DRAWN BY
J.C.S.

CHECKED BY
J.P.L.

DRAWING SCALE
AS SHOWN

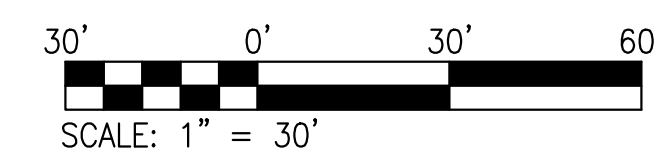
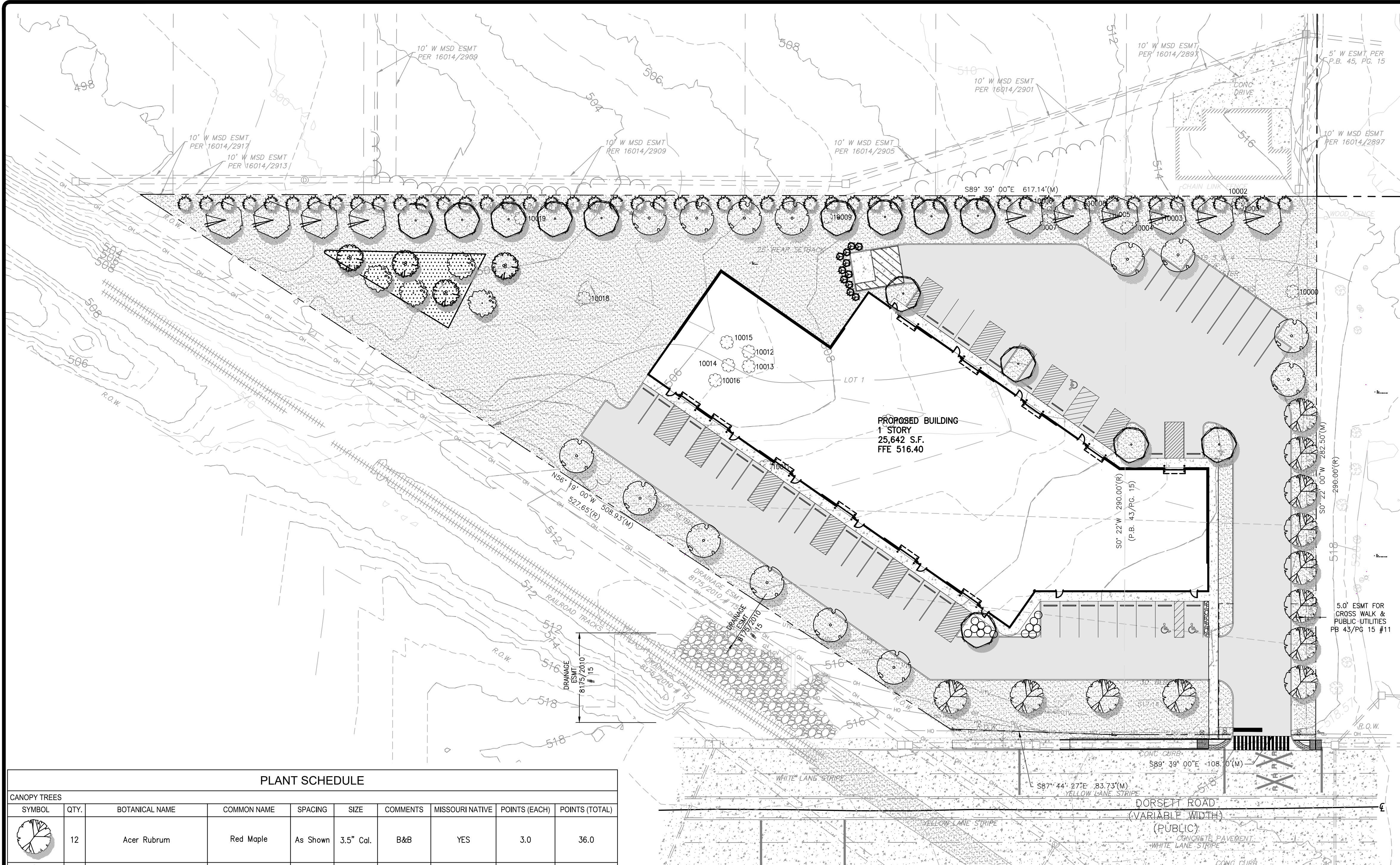
DATE
09/08/2023

Job Number
22-0125

Sheet Number
C7.2

LANDSCAPE NOTES:

- LANDSCAPE CONTRACTOR TO VERIFY LOCATION OF UNDERGROUND UTILITIES BEFORE BEGINNING WORK.
- ALL LANDSCAPE SHALL COMPLY WITH THE CURRENT EDITION OF ANSI Z 60.1 "AMERICAN STANDARD FOR NURSERY STOCK"
- ALL PLANTS SHALL MEET THE REQUIREMENTS OF THE STATE AND FEDERAL LAW WITH RESPECT TO DISEASE AND INSECT INFESTATION.
- MULCH AREAS WITH TRIPLE GROUND HARDWOOD MULCH 3" MIN. DEPTH UNLESS OTHERWISE NOTED.
- ALL LANDSCAPE SUBSTITUTIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT.
- FORMAL LINES AND GROUPINGS OF A SPECIES OF TREE, SHRUB, OR GROUNDCOVER SHALL BE MATCHED FOR SIZE, FORM, AND COLOR.
- ALL BACKFILL IN PLANTING BEDS AND TREE PITS SHALL BE BACKFILLED WITH PLANTING SOIL.
- ALL TREES OUTSIDE OF PLANT BEDS SHALL BE PLANTED WITH A MULCH RING. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
- ALL LANDSCAPING SHALL BE INSTALLED AS SHOWN ON THE APPROVED PLAN.
- AT PLANTING, TREE TRUNKS MUST BE STRAIGHT WITH MINIMAL DOGLEGGS.
- WIRE BASKETS, BURLAP WRAPPINGS, ROPE, TWINE OR ANY SIMILAR SHIPPING MATERIALS SHALL BE REMOVED BEFORE PLANTING.
- SPADE CUT EDGE SHALL BE CREATED AT ALL LOCATIONS WHERE PLANTING BEDS ARE ADJACENT TO GRASS AREAS UNLESS OTHERWISE NOTED.
- SEE CIVIL PLANS FOR TYPE AND LOCATION OF EROSION CONTROL MATERIALS.
- DO NOT DISTURB EXISTING UTILITIES WITHIN WORK AREA. SILT FENCE AND PLANTINGS SHALL AVOID ANY EXISTING UTILITIES.
- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. WRITTEN QUANTITIES TAKES PRECEDENCE OVER GRAPHIC QUANTITIES. NOTIFY OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT OF DISCREPANCIES.
- THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE LANDSCAPE ARCHITECT MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ON-SITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT MAY SELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION AVAILABILITY, OR TO ENHANCE THE HEALTH OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
- THE CONTRACTOR SHALL WARRANT ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
- THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN ON FILE WITH THE PLANNING DEPARTMENT. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN, PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF 8" - 12" AND AMENDED.
- ALL LANDSCAPED AREAS ARE TO HAVE SOIL PREPARATION, (MINIMUM RATE OF 3 CU. YDS. OF ORGANIC MATTER PER 1000 S.F.). TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- ALL TREES ARE TO BE STAKED AND GUYED FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- PLACE PLANT MATERIAL IN SHRUB BED SO THAT ONCE PLANTS GROW TO FULL SIZE THEY ARE FULLY CONTAINED WITHIN THE SHRUB BED AND DO NOT HANG OVER THE EDGER LINE.
- REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
- LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH INDIVIDUAL ZONES FOR TURF AND NON-TURF AREAS, AND MUST INCLUDE A MOISTURE DETECTION DEVICE TO PREVENT OPERATION DURING RAINY PERIODS. TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. SHRUB AND PERENNIAL BEDS SHALL HAVE DRIP IRRIGATION.
- LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE DRAINAGE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2% MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT.
- SHRUB, GROUNDCOVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY A SPADE CUT EDGE UNLESS OTHERWISE NOTED. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
- AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
- EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDED AND RESTORED WITH SPECIFIED SEED MIX.
- WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS. THESE PLANS ARE NOT INTENDED FOR CONSTRUCTION OR PERMITTING UNLESS STATED IN THE TITLE BLOCK.
- DRAWINGS ARE INTENDED TO BE PRINTED ON 30" X 42" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.



PLANT SCHEDULE

CANOPY TREES									
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS	MISSOURI NATIVE	POINTS (EACH)	POINTS (TOTAL)
	12	Acer Rubrum	Red Maple	As Shown	3.5" Cal.	B&B	YES	3.0	36.0
	14	Tilia americana	American Linden	As Shown	3.5" Cal.	B&B	YES	3.0	42.0
	14	Quercus Rubra	Red Oak	As Shown	3.5" Cal.	B&B	YES	3.0	42.0
	10	Quercus alba	White Oak	As Shown	3.5" Cal.	B&B	YES	3.0	30.0
	4	Taxodium distichum	Bald Cypress	As Shown	3.5" Cal.	B&B	YES	3.0	12.0
EVERGREEN TREES									
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS	MISSOURI NATIVE	POINTS (EACH)	POINTS (TOTAL)
	52	Juniperus virginiana	Red Cedar	As Shown	6' HT. MIN.	B&B	YES	1.0	52.0
UNDERSTORY TREES									
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS	MISSOURI NATIVE	POINTS (EACH)	POINTS (TOTAL)
	4	Betula nigra 'BNMTF'	Dura Heat@River Birch	As Shown	3" Cal.	B&B MULTI-STEM	YES	2.0	8.0
SHRUBS									
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS	MISSOURI NATIVE	POINTS (EACH)	POINTS (TOTAL)
	13	Rhus aromatica 'Grow-Low'	Fragrant sumac	As Shown	18"-24" min.	Cont.	YES	0.2	2.6
	11	Juniperus chinensis 'Spearmin'	Chinese Juniper	As Shown	4' ht. min.	Cont.	NO	0.15	1.7
								226.3	

LANDSCAPE AND TREE REQUIREMENTS

SECTION 25-16.7 REQUIRED QTY OF PLANT MATERIAL FOR NEW CONST.			
REQUIREMENT	AREA / MEASUREMENT	REQD	PROVD
NUMBER OF POINTS DETERMINED BY DIVIDING PARCEL SF BY 500	113,237/500 = 226.0 = 226 POINTS REQUIRED	226	226
SECTION 25-16.9 (A) (1) - INTERIOR PARKING LOT LANDSCAPING			
REQUIREMENT	AREA / MEASUREMENT	REQD	PROVD
INTERIOR LANDSCAPING COVERING NOT LESS THAN FIVE PERCENT (5%) OF THE TOTAL AREA OF THE IMPERVIOUS SURFACE OF ALL PARKING SPACES, LOADING/UNLOADING AREAS & SERVICE DRIVEWAYS	+/- 35,377.95 S.F. 5% 35,377.95 = 1,769 S.F.	1,769 S.F. = 5%	1,842 S.F. = 5.2%
SECTION 25-16.9 (B) (1) & (2) - LANDSCAPING ALONG PARKING LOT PERIMETERS			
REQUIREMENT	AREA / MEASUREMENT	REQD	PROVD
WHEN PARKING LOT ABUTS LAND NOT IN THE RIGHT-OF-WAY OF A STREET 1 CANOPY TREE PER 50 LINEAL FEET	+/- 496 496/50=9.7 = 10 TREES	10 TREES	10 TREES
	PARKING LOT ALONG WEST PROPERTY LINE +/- 224 224/50=4.5 = 5 TREES	5 TREES	5 TREES
WHEN PARKING LOT ABUTS THE RIGHT-OF-WAY OF A STREET 1 CANOPY TREE PER 40 LINEAL FEET	PARKING LOT ALONG SOUTH PROPERTY LINE = STREET RIGHT-OF-WAY +/- 160' 160/40=4 = 4 TREES	4 TREES	4 TREES
SECTION 25-16.10 (F) - LANDSCAPING REQUIREMENTS FOR BUFFER AREAS & SCREENING			
3 TREES, 1 OF WHICH MUST BE A CANOPY/OVERSTORY TREE PER 25 LINEAL FEET	617/25= 24.68 25x3=75 TREES	75 TREES	75 TREES

CALIPER INCHES REQUIRED TO BE REPLACED PER TREE MITIGATION PLAN - 208"
 PROPOSED CALIPER INCHES - 260"
 SEE SHEET L1.1 FOR TREE MITIGATION

NO	REVISION DESCRIPTION	DATE

DEVELOPER/OWNER:
OAKLINE STUDIO
 1701 BORMAN ROAD, SUITE 200
 MARYLAND HEIGHTS, MO 63146
 (314) 551-2906

THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON ASSUMES RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED AND FOR THE COMPLETION OF THE PROJECT. THE PROFESSIONAL'S LIABILITY IS LIMITED TO THE AMOUNT OF THE FEE PAID BY THE CLIENT.

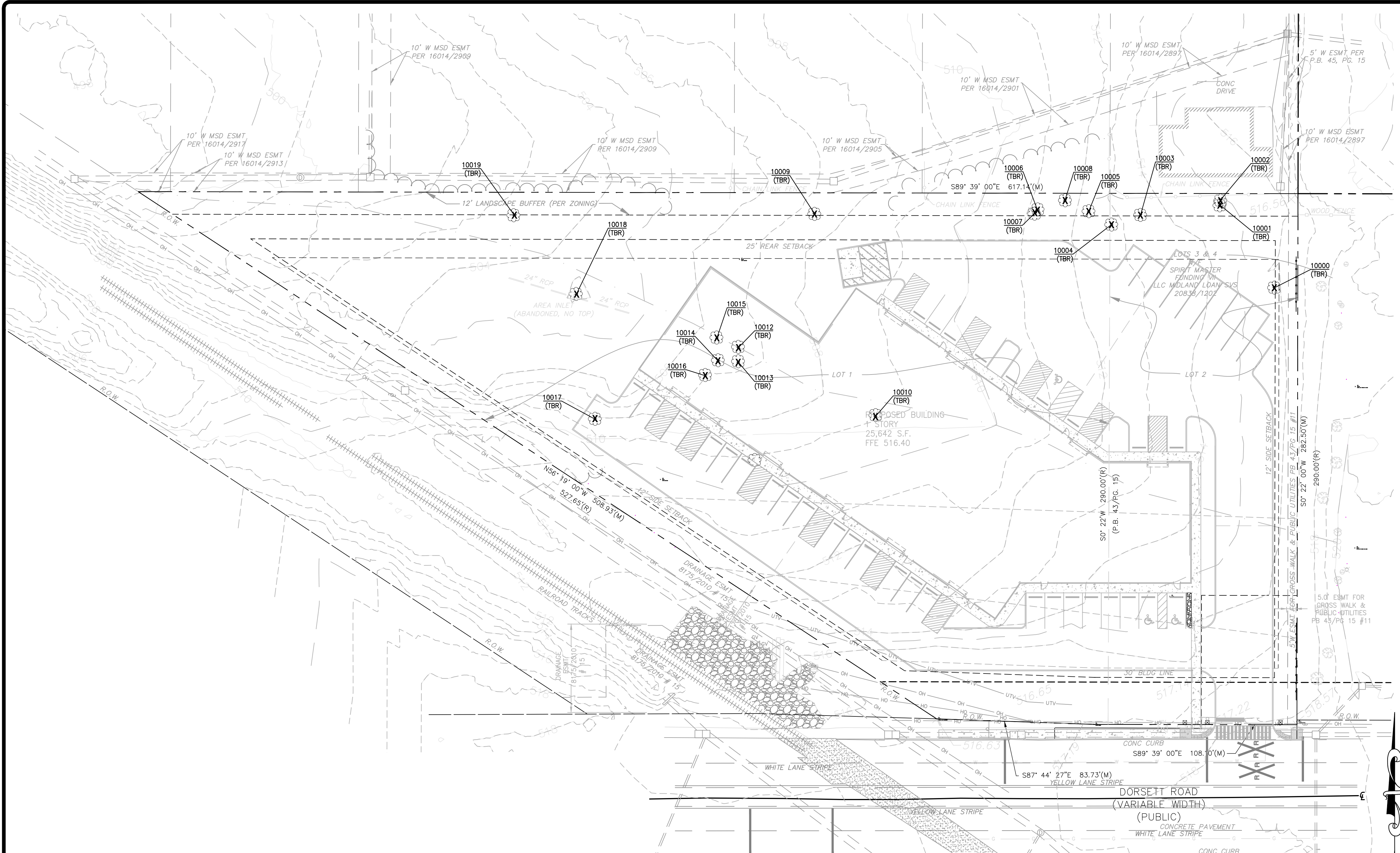
DESIGNER/ARCHITECT:
DORSETT PLACE
 11737 DORSETT ROAD
 MARYLAND HEIGHTS, MO 63043

LANDSCAPE PLAN

+ ST. LOUIS
 401 S. 16th Street
 St. Louis, MO 63103
 314.984.9887
 www.coledesign.com

COLE
 CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE
 100% of revenue from professional services. Cole Design Group, Inc. is a wholly owned subsidiary of Cole.

DESIGN/CALC BY: J.C.S.
 DRAWN BY: J.C.S.
 CHECKED BY: J.P.L.
 DRAWING SCALE: AS SHOWN
 DATE: 01/20/2023
 Job Number: 22-0125
 Sheet Number: L1.0



- LEGEND**
- TREE PROTECTION FENCE
 - CRITICAL ROOT ZONE
 - 00000 TREE IDENTIFICATION NUMBER
 - (TBR) TO BE REMOVED
 - (TR) TO REMAIN
 - EXISTING TREE TO REMAIN (TYP.)
 - EXISTING TREE TO BE REMOVED (TYP.)

TREE MITIGATION SUMMARY

Tag Number	Total Caliper (Inch)	Drip Line (ft)	Common Name	Botanical Name	To Remain/Remove	Within Building/Development Area	Replacement Caliper Inches Required For Mitigation
10000	10	20	Cottonwood	Populus deltoides	Remove	Yes	10
10001	7	14	American Elm	Ulmus americana	Remove	Yes	7
10002	8	16	American Elm	Ulmus americana	Remove	Yes	8
10003	6	12	American Elm	Ulmus americana	Remove	Yes	6
10004	8	16	Weeping Willow	Salix babylonica	Remove	Yes	8
10005	8	16	Cottonwood	Populus deltoides	Remove	Yes	8
10006	8	0	Unknown	Unknown	Remove	Yes	0
10007	10	20	Weeping Willow	Salix babylonica	Remove	Yes	10
10008	7	12	Ash	Fraxinus americana	Remove	Yes	7
10009	6	12	American Elm	Ulmus americana	Remove	Yes	6
10010	20	40	Black Walnut	Juglans nigra	Remove	Yes	20
10011	30	60	American Elm	Ulmus americana	Remove	Yes	30
10012	15	30	American Elm	Ulmus americana	Remove	Yes	15
10013	9	18	Ash	Fraxinus americana	Remove	Yes	9
10014	9	18	Black Walnut	Juglans nigra	Remove	Yes	9
10015	6	12	Black Walnut	Juglans nigra	Remove	Yes	6
10016	10	20	Black Walnut	Juglans nigra	Remove	Yes	10
10017	24	48	American Elm	Ulmus americana	Remove	Yes	24
10018	8	16	American Elm	Ulmus americana	Remove	Yes	8
10019	7	14	American Elm	Ulmus americana	Remove	Yes	7

* See Existing Tree Schedule This Sheet For Tree Conditions

Total Caliper Inches To Be Removed **208**

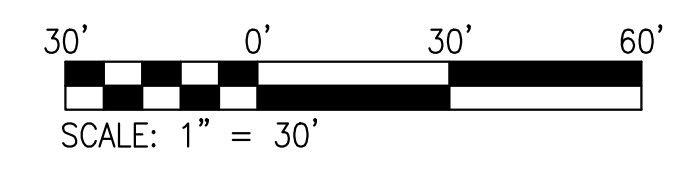
Total Replacement Caliper Inches Required **208**

Total Caliper Inches Proposed **260**

EXISTING TREES

Tag Number	Multi-Trunk Qty.	Total Caliper (Inch)	Drip Line (ft)	Common Name	Botanical Name	On-Site	Condition	Comments
10000		10	20	Cottonwood	Populus deltoides	Y	Poor	Overtaken by vines
10001	2	7	14	American Elm	Ulmus americana	Y	Poor	Overtaken by vines
10002	2	8	16	American Elm	Ulmus americana	Y	Poor	Overtaken by vines
10003		6	12	American Elm	Ulmus americana	Y	Poor	Overtaken by vines
10004		8	16	Weeping Willow	Salix babylonica	Y	Poor	Overtaken by vines
10005		8	16	Cottonwood	Populus deltoides	Y	Poor	Overtaken by vines
10006		8	0	Unknown	Unknown	Y	Dead	Overtaken by vines
10007		10	20	Weeping Willow	Salix babylonica	Y	Poor	Overtaken by vines
10008		7	12	Ash	Fraxinus americana	Y	Poor	Overtaken by vines
10009		6	12	American Elm	Ulmus americana	Y	Good	Scrub around the base
10010		20	40	Black Walnut	Juglans nigra	Y	Poor	Scrub around the base
10011	4	30	60	American Elm	Ulmus americana	Y	Fair	Scrub around the base
10012		15	30	American Elm	Ulmus americana	Y	Fair	Scrub around the base
10013	2	9	18	Ash	Fraxinus americana	Y	Fair	Scrub around the base
10014		9	18	Black Walnut	Juglans nigra	Y	Fair	Scrub around the base
10015		6	12	Black Walnut	Juglans nigra	Y	Fair	Scrub around the base
10016		10	20	Black Walnut	Juglans nigra	Y	Fair	Scrub around the base
10017		24	48	American Elm	Ulmus americana	Y	Fair	Scrub around the base
10018		8	16	American Elm	Ulmus americana	Y	Poor	Scrub around the base
10019		7	14	American Elm	Ulmus americana	Y	Poor	Overtaken by vines

* Trees have not been properly taken care of and are in fair to poor health. Vines have taken most of them over and bush honeysuckle is around the trees killing off lower branches



USER: Austin Eberhardt TAB: L1.1
 DATE: January 20, 2023 - 2:28:15 PM
 DRAWING: S:\JOBS\2022\22-0125\CADD\Plan\Tree_Mitigation_22-0125.dwg

MSD P. NO. 22CNCBP-00067 BASE MAP: 2918000183K

DEVELOPER/OWNER:
OAKLINE STUDIO
 1701 BORMAN ROAD, SUITE 200
 MARYLAND HEIGHTS, MO 63146
 (314) 551-2906

THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON
 ASSUMES RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION AND DATA
 SPECIFICATIONS, ESTIMATES, REPORTS, OR OTHER DOCUMENTS OR INSTRUMENTS NOTED
 HEREON. THE PROFESSIONAL WILL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE
 INFORMATION OR DATA PROVIDED BY THE CLIENT OR ANY OTHER PARTY.

DESIGN/CALC BY
 J.C. SCH

DRAWN BY
 J.C. SCH

CHECKED BY
 J.P.H./JDR

DRAWING SCALE
 AS SHOWN

DATE
 01/20/2023

Job Number
22-0125

Sheet Number
L1.1

DORSETT PLACE
 11737 DORSETT ROAD
 MARYLAND HEIGHTS, MO 63043

TREE MITIGATION PLAN